



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

# **Cleveland City Planning Commission**

July 18, 2025

**\*\*PLEASE MUTE YOUR MICROPHONE\*\***

Lillian Kuri, Commission Chair  
Calley Mersmann, Director  
Evelyn Rueda, Administrator

## **AGENDA**

### **CENTRAL SOUTHEAST DESIGN**

#### **REVIEW**

- CSE2025-026 – 6806 Harvard,  
Car Sales Lot w/ Office  
(Schematic)

### **NORTHEAST DESIGN REVIEW**

- NE2025-018 – AsiaTown  
Wayfinding Sign Program (Final)

### **FAR WEST DESIGN REVIEW**

- FW2025-09 – Rocky River Drive  
Plaza (Conceptual)

### **EUCLID CORRIDOR BUCKEYE**

#### **DESIGN REVIEW**

- EC2025-002 – Warner & Swasey  
(Final)
- EC2025-020 – Signet Housing  
Project (Conceptual)

### **SPECIAL PRESENTATIONS –**

#### **PUBLIC ART**

- EC2025-016 – E 128th Crosswalk  
Murals (Final)

### **LEGISLATION**



# Cleveland City Planning Commission

## P R E A M B L E

In compliance with notification requirements of Ohio's open meeting law and section 101.021 of the Codified Ordinances of Cleveland, Ohio, 1976, notice of this meeting has been publicly posted.

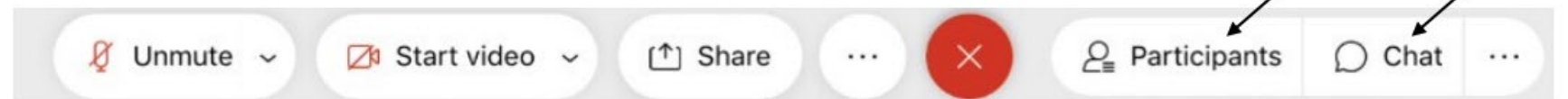
All boards and commissions under the purview of the City Planning department conduct their meetings in a manner modeled after Robert's Rules of Order. Actions during the meeting will be taken by voice vote. Recusals from any vote due to a conflict of interest should be stated for the record prior to the taking of any vote.

In order to ensure that everyone participating in the meeting has the opportunity to be heard, we ask that online participants use the raise hand feature before asking a question or making a comment. The raise hand feature can be found in the participants panel on the desktop and mobile version and activated by clicking the hand icon. Please wait for the Chair or facilitator to recognize you and be sure to select unmute and announce yourself before you speak. When finished speaking, please lower your hand by clicking on the raise hand icon again and mute your microphone.

We will also be utilizing the chat feature to communicate with participants. The chat feature can be activated by clicking the chat button located on the bottom of the Webex screen.



**CALL-IN USERS CAN UNMUTE BY USING \*6**



July 18, 2025



# Cleveland City Planning Commission

## P R E A M B L E

All meeting activity is being recorded via the Webex platform.

These proceedings are also being live streamed via YouTube.

All requests to speak on a particular matter submitted through proper channels have been considered. We have also received emails from those who have provided written comment on a particular matter. Proper channels for comments are listed below.

Communication with members of this body must follow proper channels for consideration.

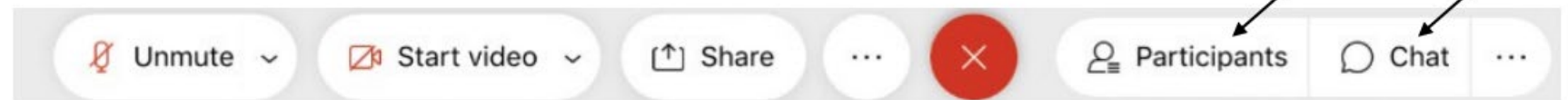
Any comments received by the **Wednesday 12:00 pm** deadline are collected by City Planning staff and disseminated to the Commission members prior to any scheduled meeting.

## PROPER CHANNELS FOR PUBLIC COMMENT

- Sending an e-mail to the [cityplanning@clevelandohio.gov](mailto:cityplanning@clevelandohio.gov) address with a comment or a letter
- Calling and/or leaving a message at 216-664-2210
- Sending a letter or dropping off comments at City Hall (601 Lakeside Avenue, Suite 501, Cleveland, OH 44114)



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July 18, 2025

# Cleveland City Planning Commission

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## MEETING RULES AND PROCEDURES

- The Chair will call each agenda item and then each applicant will be invited to proceed through their presentation.
- Each presentation should be completed prior to questions and comments from the Commission in order to facilitate a smooth presentation.
- Once the presentation has concluded, the Chair will ask Planning staff to summarize Design Review Advisory Committee recommendations (if applicable) and any public comments received.
- Public comments received through the proper channels by the deadline are distributed to Commission members prior to the meeting. Staff will also identify any members of the public present and scheduled to speak.
- Public comment is allowed at the discretion of the Chair and any individual providing public comment is permitted two (2) minutes to speak to the agenda item in which they have an interest.
- The Chair will then request a recommendation from staff, if applicable.
- The Commission will then begin deliberations and project review.
- Any Commission member, except the Chair, may make a motion at any point after an agenda item has been called.



**Lillian Kuri, Chair**

July 18, 2025

**August Fluker, Vice Chair**

**Charles Slife, Council Member**

**Dr. Denise McCray-Scott**

**Erika Anthony**

**Andrew Sargeant**

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# Cleveland City Planning Commission

## Call to Order and Roll Call

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

July 18, 2025



# Cleveland City Planning Commission

## Approval of Minutes from Previous Meeting

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

July 18, 2025



# Cleveland City Planning Commission

## Central Southeast Design Review

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

July 18, 2025



**CSE2025-026** – 6806 Harvard, Car Sales Lot w/ Office

July 18, 2025

Project Address: 6806 Harvard Ave

Type: New Construction – Commercial

Project Representative: Kurt Weaver, AKW, Inc.

Approval: Schematic

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**Ward 12: Council Member Maurer** | **SPA: Broadway-Slavic Village** | **CDC: Slavic Village Development**

23 JUNE 2025

# Memorandum 2037.003R

AKW, Inc. Proj. No. 2037a

ARCHITECTURE  
PLANNING  
DESIGN  
RESTORATION  
PRESERVATION



PROJECT: **6806 Harvard Avenue**  
BZA

B21007055

RE: **DESIGN PRESENTATION** **REVISED**  
Parcel No. 132 – 25 – 192

COVER PAGE & INTRODUCTION

EXISTING CONDITIONS PHOTOGRAPHS

SANDBORNE MAP

DEVELOPMENT SITE PLANS

SITE ELEVATION

SITE PLAN

SITE DETAILS

BUILDING PLAN

BUILDING ELEVATION

BUILDING DETAILS

Submitted by,

Kurt C. Weaver, AIA  
Project Architect, AKW, Inc.

cc file  
T. Sullivan

## COMMITTEE NOTES: (Tuesday June 10, 2025)

1. ADD additional TREES (3) additional sides (north, east & west)
2. Plantings along Harvard to be EVERGREEN
3. ALL added trees to be HONEY LOCUST
4. ADD (2) additional trees along south side where previously existing concrete pad is no longer present.
5. Requested that owner ROTATE INVENTORY
6. Site Lighting calculations.
7. Details of Ornamental and Board on Board Fencing.
8. "Vistor Parking" text added to visitor parking spaces.
9. Remove entry curb encroachment on west set back line.
10. Building Exterior Finishes.

Items 1, 2, 3, 4, 8, and 9, are addressed on revised site plan drawing SD.33.

Items 7 and 8 are represented in the revised presentation.

**AKW, INC.**

2008 VALENTINE AVENUE CLEVELAND, OHIO 44109-1933 216.749.6223 FAX 216.749.1863



27 MAY 2025

## Memorandum 2037.002R

AKW, Inc. Proj. No. 2037a

ARCHITECTURE  
PLANNING  
DESIGN  
RESTORATION  
PRESERVATION



PROJECT: 6806 Harvard Avenue B21007055  
BZA

RE: Existing Conditions Photographs ( December 2020 )  
Parcel No. 132 – 25 – 192

Site & Surrounding Context  
next 7 images  
\_\_\_ pages



6806 Harvard Avenue

looking SOUTH

west side of site

AKW, INC.

2008 VALENTINE AVENUE CLEVELAND, OHIO 44109-1933 216.749.6223 FAX 216.749.1863



looking SOUTH EAST

adjacent residence



27 MAY 2025

page 3

AKW Memorandum 2037.002R



6806 Harvard Avenue  
looking SOUTH  
east side of site

AKW, INC.

2008 VALENTINE AVENUE CLEVELAND, OHIO 44109-1933 216.749.6223 FAX 216.749.1863





looking WEST; EAST elevation of former dairy structure

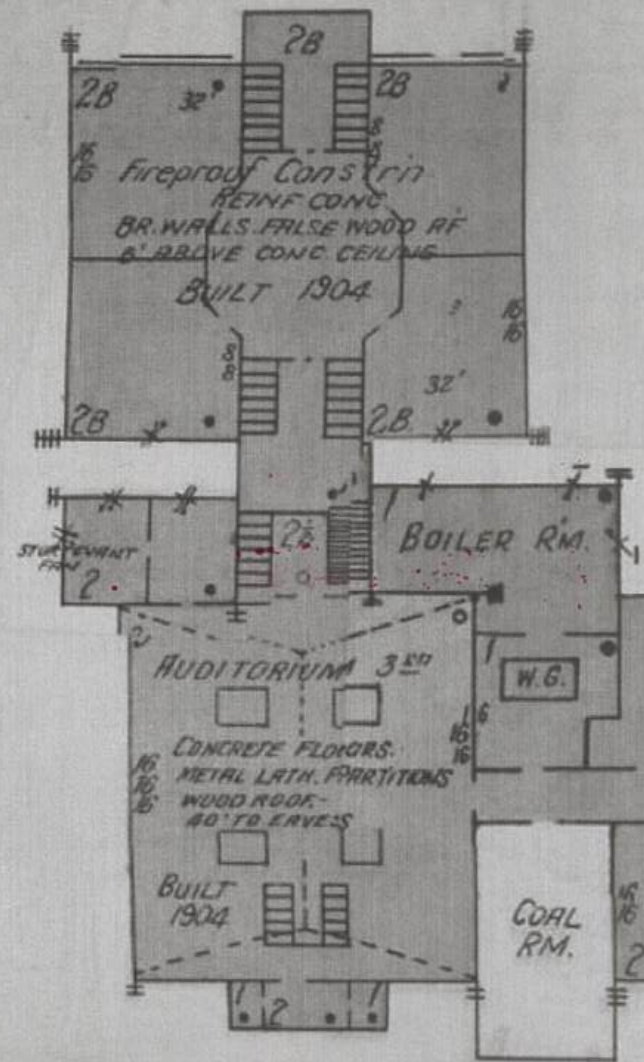


looking EAST; WEST elevation of former dairy structure



6900

HEAT: STEAM, JOHNSON SYSTEM WITH STD. TENDR  
FRN. LIGHTS: ELEC. FUEL: COAL -



POL

● *D.H.*



ORNAMENTAL SITE FENCE, SEE  
SITE PLAN DRAWING SD.33, TYP.



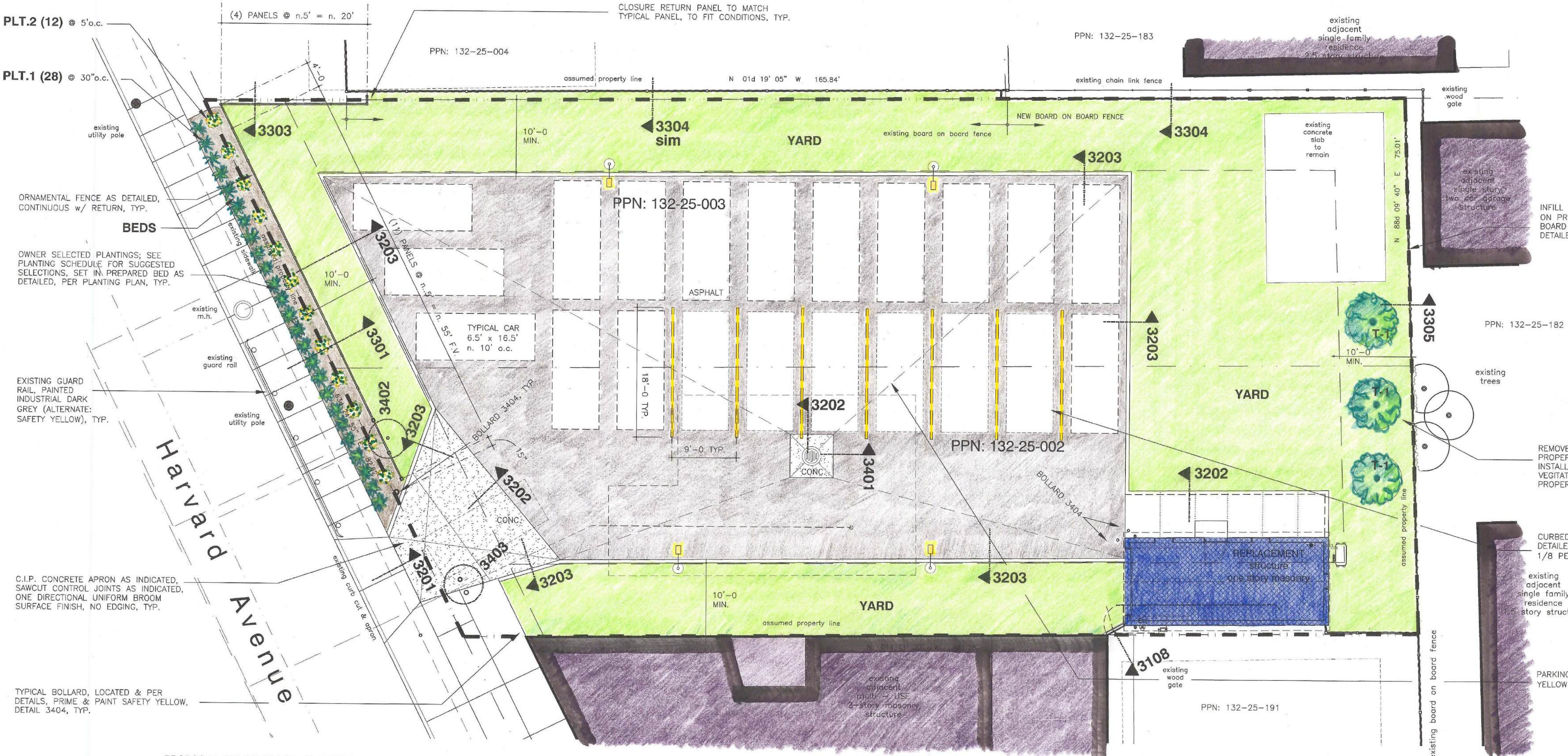
SUBJECT PROPERTY 6806 HARVARD AVENUE

REPLACEMENT STRUCTURE

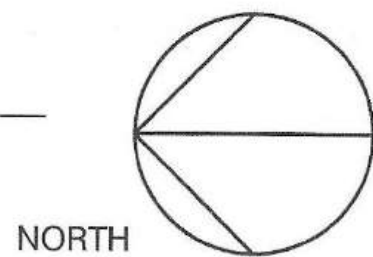
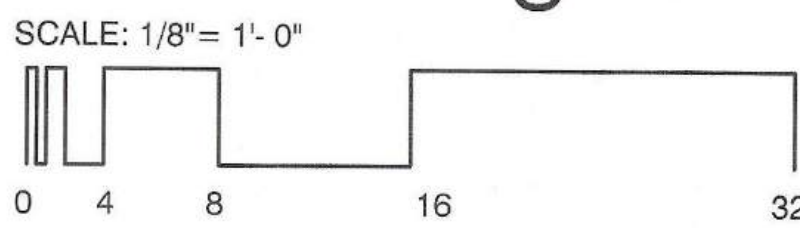
# 33E Harvard Avenue Elevation looking SOUTH

SCALE: 1/16" = 1'-0"





33A Site Plantings & Finishes Plan



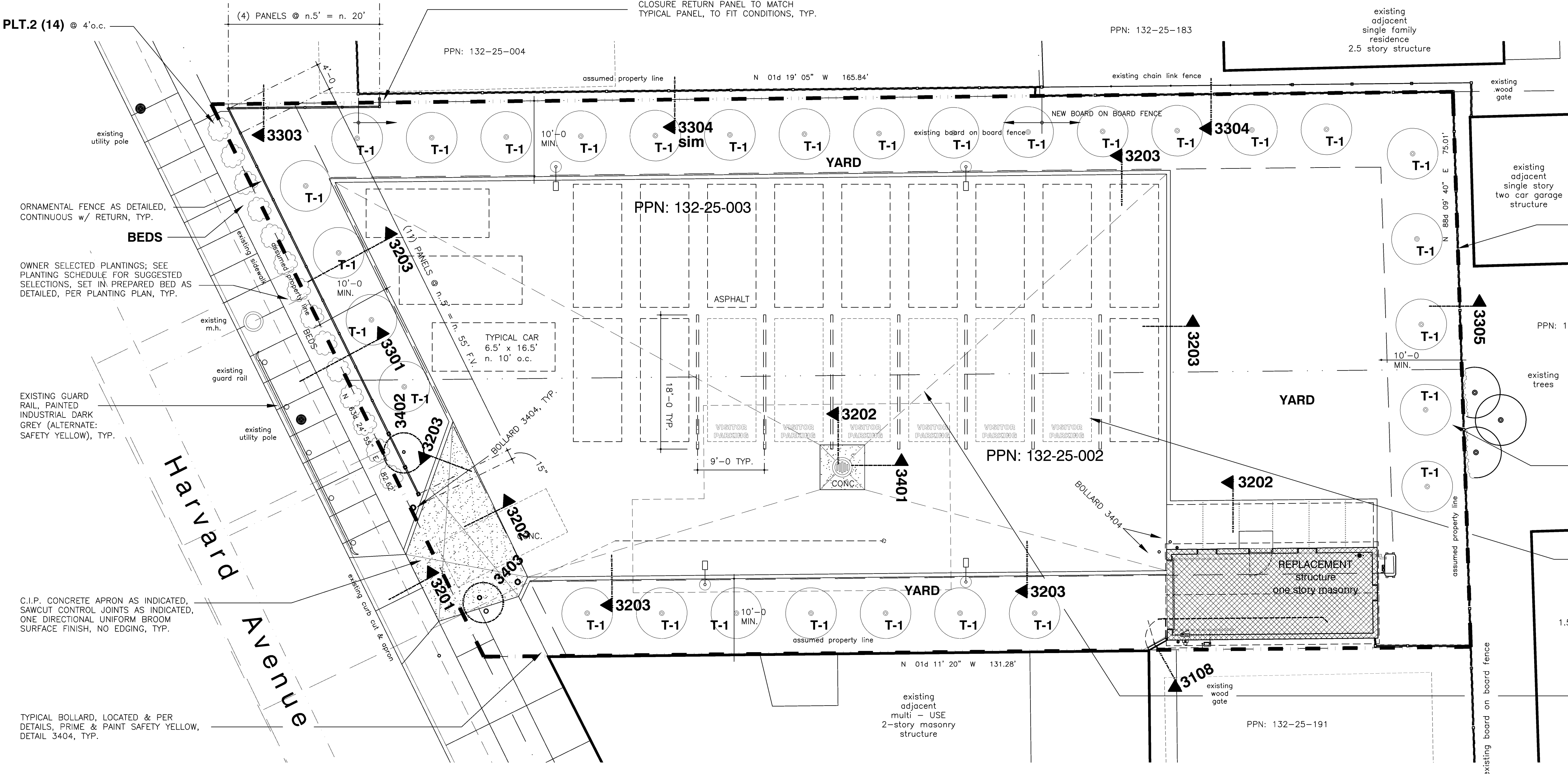
NEW ORNAMENTAL FENCE, MAX. 5' PANELS, STEEL, PAINTED, TOP & BOTTOM CHANNEL (1"x1.5" MIN.) w/ SAME INTERMEDIATE CHANNEL, MIN. 2.5" SQ. POSTS w/ DECORATIVE CAP, CAST IRON ONLY, 5/8" DIA. STEEL PICKETS AT 4.5" o.c., CONNECTION ANGLES FACTORY WELDED TO PANELS w/ FIELD BOLTED CONNECTIONS, POST FOUNDATION w/ min 8"x8" BASE PLATE WELDED TO POST SET ON COMPACTED POROUS FILL, BACKFILLED w/ LIGHTWEIGHT CONC., GALV. or POWDER COAT FINISH RECOMMENDED, TYP.

33B Planting Schedule

SYMBOL	MARK	PLANT	NAME	DES
PLT.1	small bush	HOSTA or SAGE or XXXX		
PLT.2	medium bush	PRIVET or SEAGRASS		



PLT.2 (14) @ 4' o.c.



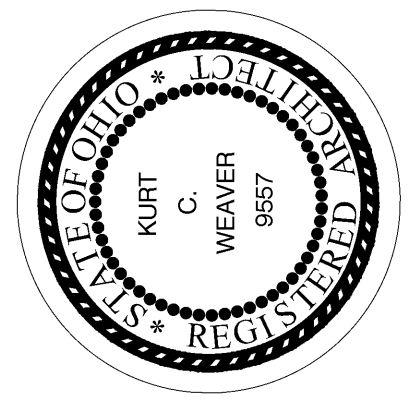
**General Notes:**

- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND ALL OTHER EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF THE WORK.
- ALL GENERAL NOTES ARE APPLICABLE TO ALL TRADES AND RESPECTIVE CONTRACTORS.
- CONTRACTOR TO NOTIFY THE ARCHITECT IN WRITING IN THE EVENT OF A DISCREPANCY BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS.
- ALL DAMAGE TO EXISTING AND/OR NEW WORK IN PLACE BY CONTRACTOR'S OR CONTRACTOR'S SUB-CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- ALL CUTTING & PATCHING AS NECESSARY TO ACCOMPLISH THE WORK IS TO BE INCLUDED, TYPICAL PATCH ALL MATERIALS TO MATCH EXISTING.
- ALL ITEMS INDICATED BUT NOT IDENTIFIED ARE EXISTING TO REMAIN. MAINTAIN, CLEAN, PROTECT, TYPICAL.

INFILL BALANCE OF PERIMETER FENCING ON PROPERTY LINE w/ BOARD ON BOARD FENCING TO MATCH EXISTING AS DETAILED, TYP.

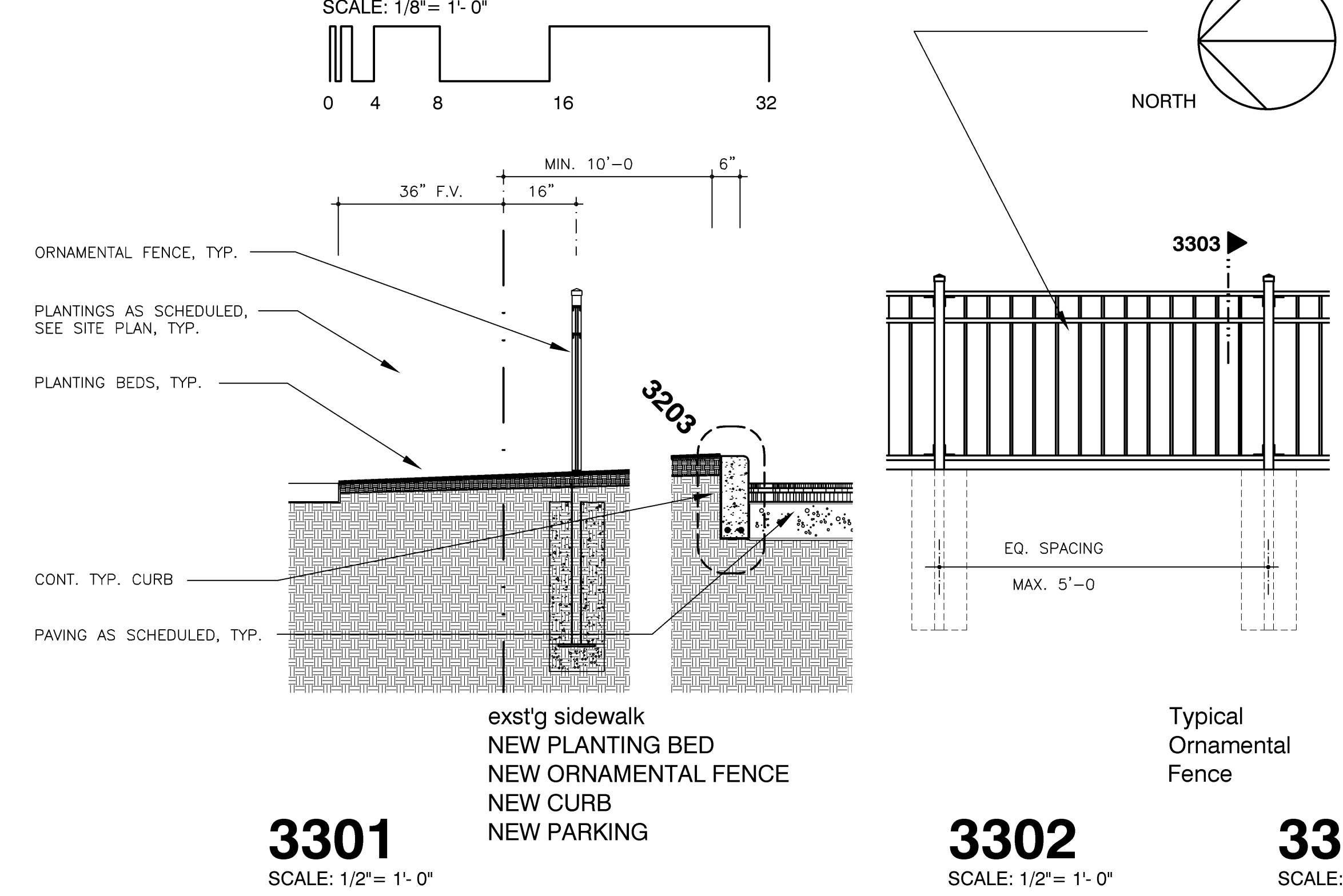
**Existing Conditions Notes:**

- ALL CONDITIONS REPRESENTED AS OBSERVED IN THE FIELD BY AKW. MEASUREMENTS FROM STRATEGIC LOCATIONS THROUGH OUT, AND AS INTERPOLATED FROM AKW PHOTOGRAPHS OF THE EXISTING CONDITIONS, INCLUDING INFORMATION FROM COUNTY OVERLAY MAPS, AUGUST 2020.
- ILLUSTRATED GRAPHICS REFLECT OBSERVED CONDITIONS AND ARE REPRESENTATIVE ONLY. AKW IS NOT RESPONSIBLE FOR ACTUAL FIELD CONDITIONS OF MATERIALS DEPICTED. FIELD CONDITIONS VARY BY LOCATION.
- DIMENSIONAL RELATIONSHIPS ARE ACURATE WITHIN NORMAL NOMINAL DIMENSIONAL TOLERANCES. SOME VARIATION IN ACTUAL CONDITION MAY OCCUR. EVERY EFFORT HAS BEEN MADE TO REFLECT THE EXISTING CONDITIONS ACURATELY.

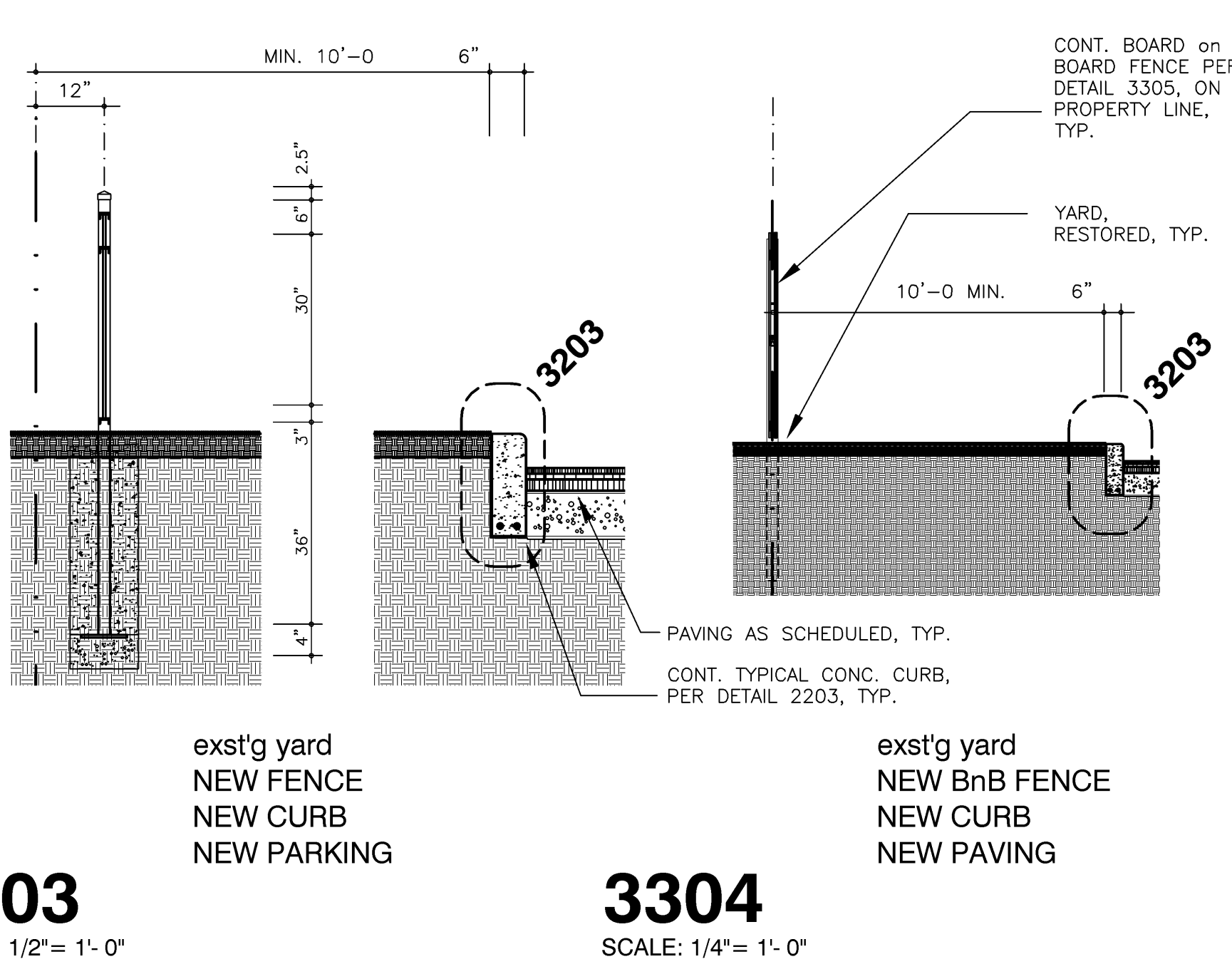


**AKW, INC.**  
2008 Valentine Avenue  
Cleveland, Ohio 44109-1933  
216.749.6223 fax 216.749.1863

### 33A Site Plantings & Finishes Plan

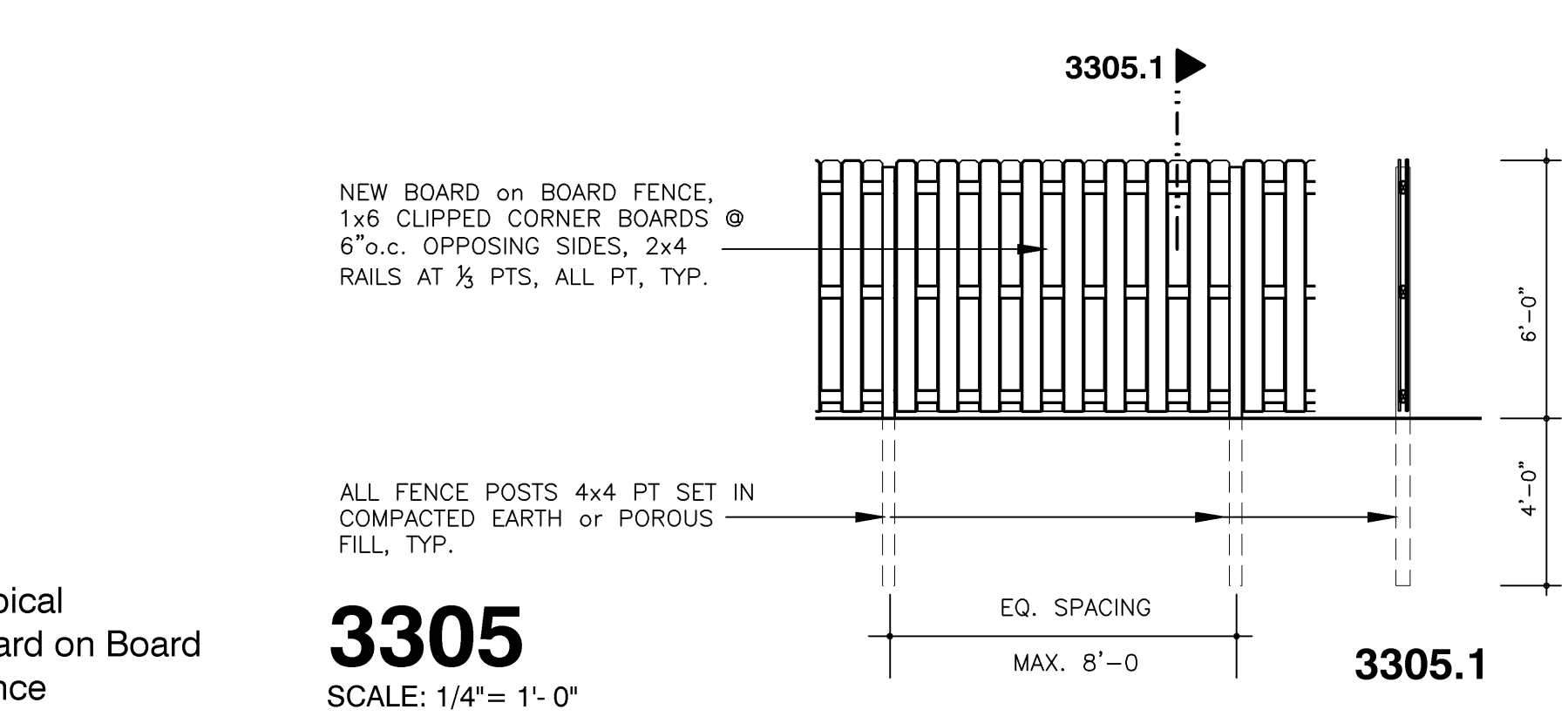


NEW ORNAMENTAL FENCE, MAX. 5' PANELS, STEEL, PAINTED, TOP & BOTTOM CHANNEL (1"x1.5" MIN.) w/ SAME INTERMEDIATE CHANNEL, MIN. 2.5" SQ. POSTS w/ DECORATIVE CAP, CAST IRON ONLY, 5/8" DIA. STEEL PICKETS AT 4.5' o.c., CONNECTION ANGLES FACTORY WELDED TO PANELS w/ FIELD BOLTED CONNECTIONS, POST FOUNDATION w/ min 8"x8" BASE PLATE WELDED TO POST SET ON COMPACTED POROUS FILL, BACKFILLED w/ LIGHTWEIGHT CONC., GALV. or POWDER COAT FINISH RECOMMENDED, TYP.



### 33B Planting Schedule:

SYMBOL	MARK	PLANT	NAME	DESCRIPTION	MISC./REMARKS
PLT.1	small bush	HOSTA or SAGE or XXXX	--	--	18 - 24" o.c.
PLT.2	medium bush	EVERGREEN SHRUB	MAINTAIN MAX. 36" HEIGHT	--	18 - 36" o.c.
PLT.3	large bush	HYDRANGA or LILAC or FORSYTHIA	--	--	24 - 48" o.c.
YARD	seeded yard over min. 4" topsoil	rye blend	--	--	straw cover to start water 3X daily for 30 days
BEDS	top soil, min. 4" finished w/ MULCH	sandy loam	--	--	natural mulch, no dyes
T-1	medium sized ornamental tree	HONEY LOCUST	4" dia.	--	mounded mulch bed cover water 2X daily for 60 days



### 6806 Harvard Avenue

Cleveland, Ohio  
Prepared for: TMS Enterprises, LTD.  
31637 Newbury Drive, Avon Lake, Ohio 44012

Car Sales Lot with Office  
CONSTRUCTION DOCUMENTS  
Site Plantings  
& Finishes Plan

**SD.33**

General Notes:

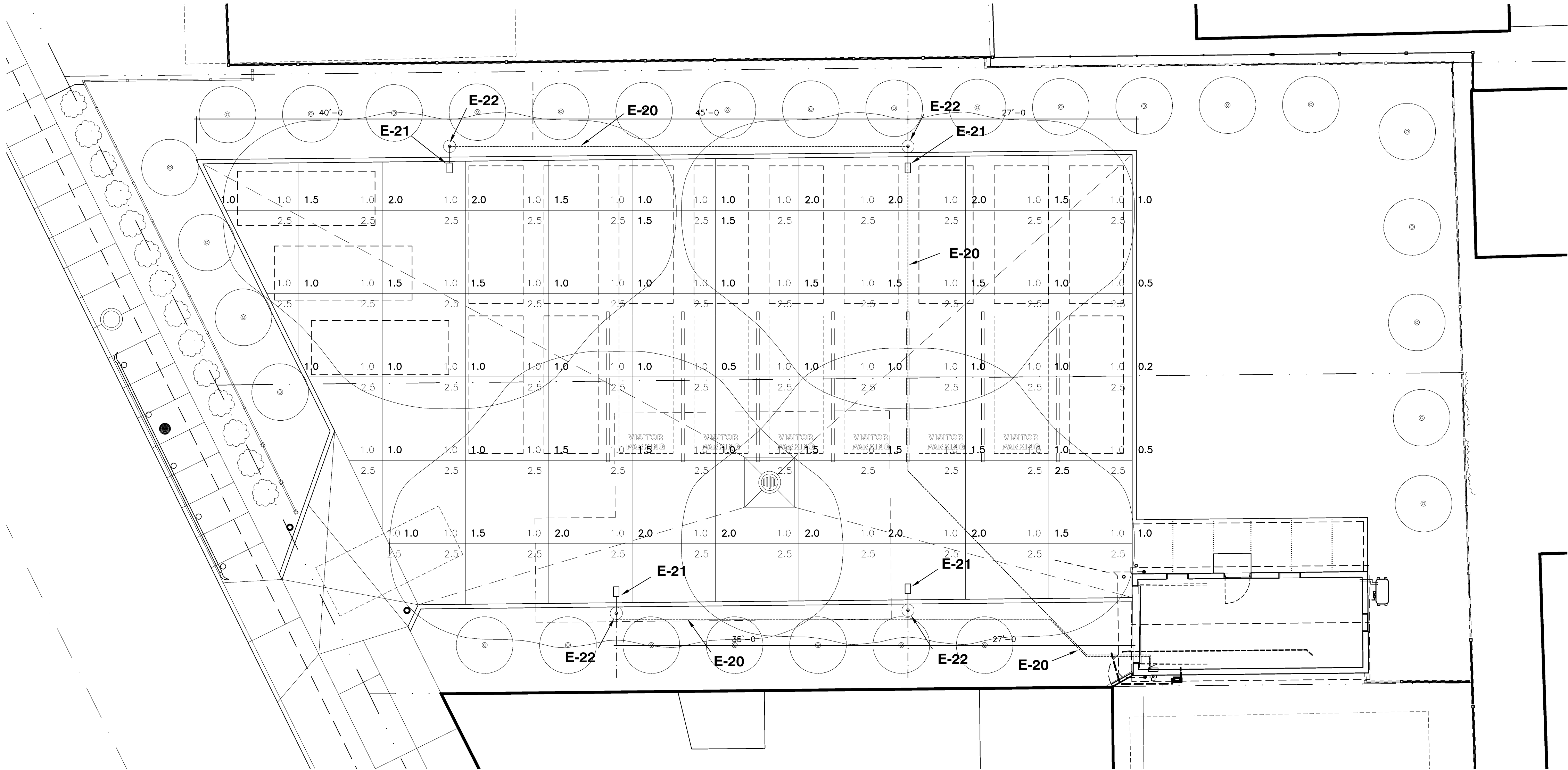
- 1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND ALL OTHER EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF THE WORK.
- 2. ALL GENERAL NOTES ARE APPLICABLE TO ALL TRADES AND RESPECTIVE CONTRACTORS.
- 3. CONTRACTOR TO NOTIFY THE ARCHITECT IN WRITING IN THE EVENT OF A DISCREPANCY BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS.
- 4. ALL DAMAGE TO EXISTING AND/OR NEW WORK IN PLACE BY CONTRACTOR'S OR CONTRACTOR'S SUB-CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- 5. ALL CUTTING & PATCHING AS NECESSARY TO ACCOMPLISH THE WORK IS TO BE INCLUDED, TYPICAL. PATCH ALL MATERIALS TO MATCH EXISTING.
- 6. ALL ITEMS INDICATED BUT NOT IDENTIFIED ARE EXISTING TO REMAIN. MAINTAIN, CLEAN, PROTECT, TYPICAL.

Existing Conditions Notes:

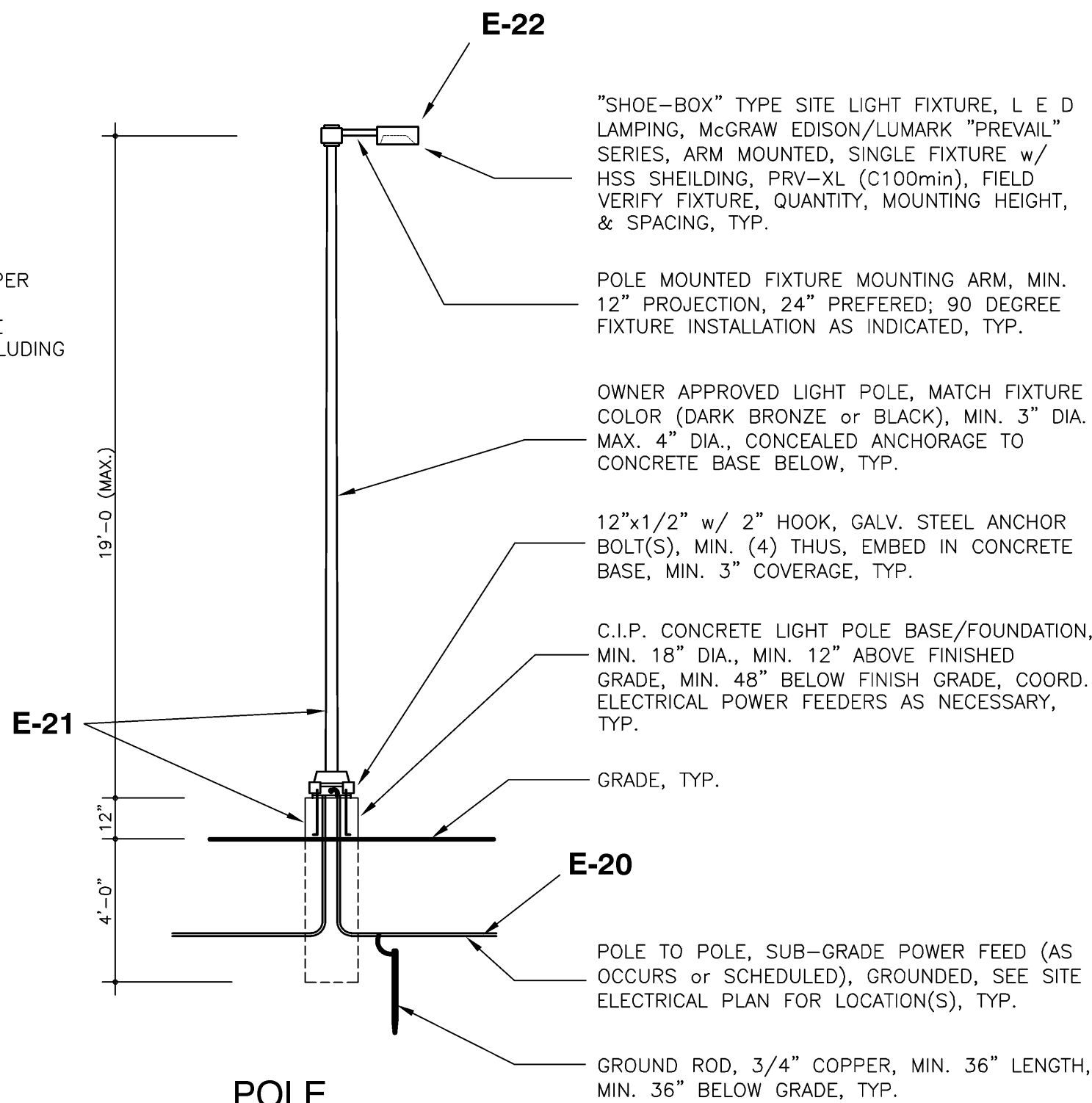
- 1. ALL CONDITIONS REPRESENTED AS OBSERVED IN THE FIELD BY AKW. MEASUREMENTS FROM STRATEGIC LOCATIONS THROUGH OUT, AND AS INTERPOLATED FROM AKW PHOTOGRAPHS OF THE EXISTING CONDITIONS, INCLUDING INFORMATION FROM COUNTY OVERLAY MAPS, AUGUST 2020.
- 2. ILLUSTRATED GRAPHICS REFLECT OBSERVED CONDITIONS AND ARE REPRESENTATIVE ONLY. AKW IS NOT RESPONSIBLE FOR ACTUAL FIELD CONDITIONS OF MATERIALS DEPICTED. FIELD CONDITIONS VARY BY LOCATION.
- 3. DIMENSIONAL RELATIONSHIPS ARE ACURATE WITHIN NORMAL NOMINAL DIMENSIONAL TOLERANCES. SOME VARIATION IN ACTUAL CONDITION MAY OCCUR. EVERY EFFORT HAS BEEN MADE TO REFLECT THE EXISTING CONDITIONS ACURATELY.

Power/Communication Plan Notes:

- SEE DRAWING E.30 FOR POWER/COMMUNICATION PLAN NOTES; Nos E-1 to E-8, E-13, E.13a, E-14 to E-16, TYP.
- E-20** PROVIDE SUB-GRADE CONDUIT(S) AS NECESSARY TO ROUTE SUB-GRADE SITE LIGHTING (& POWER) AS SCHEDULED & DETAILED, TYP.
- E-21** PROVIDE POLE MOUNTED SITE LIGHTING AS SCHEDULED & DETAILED, COMPLETE, INCLUDING BUT NOT LIMITED TO FIXTURE, MOUNTING, DAYLIGHT & MOTION SENSOR CONTROL, CONDUIT, & RELATED COMPONENTS COMPLETE, TYP.
- E-22** PROVIDE SITE LIGHTING POLE AS DETAILED & SCHEDULED, COMPLETE, COORD. LOCATIONS w/ OWNER & SITE IMPROVEMENTS, COORD. POWER CONDUIT ROUTE & RELATED ITEMS INCLUDING POLE MOUNTED SERVICES, TYP.



NOTE:  
LIGHTING INDICATED PER  
16' POLE HEIGHT,  
E.C. TO SUBMIT POLE  
& FIXTURE DATA INCLUDING  
PHOTOMETRICS, TYP.



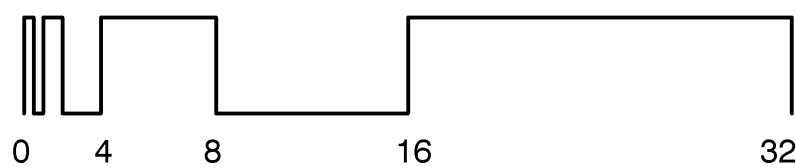
POLE  
MOUNTED  
LIGHTING  
SCALE: 1/4"= 1'- 0"

501

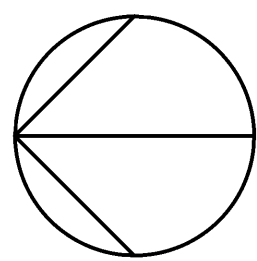
5A Site ELECTRICAL Plan

PROPOSED CAR SALES LOT with OFFICE

SCALE: 1/8"= 1'- 0"



NORTH



6806 Harvard Avenue

Cleveland, Ohio

Prepared for: TMS Enterprises, LTD.

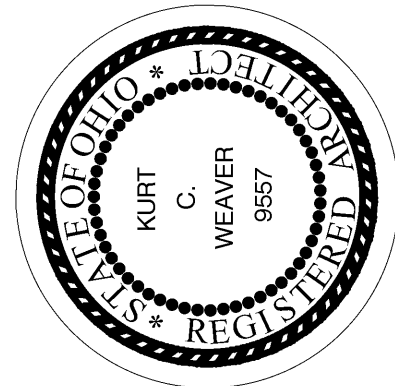
31637 Newbury Drive, Avon Lake, Ohio 44012

SCALE: As Noted

DATE: 27 MAY 2025

Revised: 30 JUNE 2025

Car Sales Lot with Office  
CONSTRUCTION DOCUMENTS  
Site Electrical Plan



AKW, INC.  
2008 Valentine Avenue  
Cleveland, Ohio 44109-1933  
216.749.6223 fax 216.749.1863

SD.35

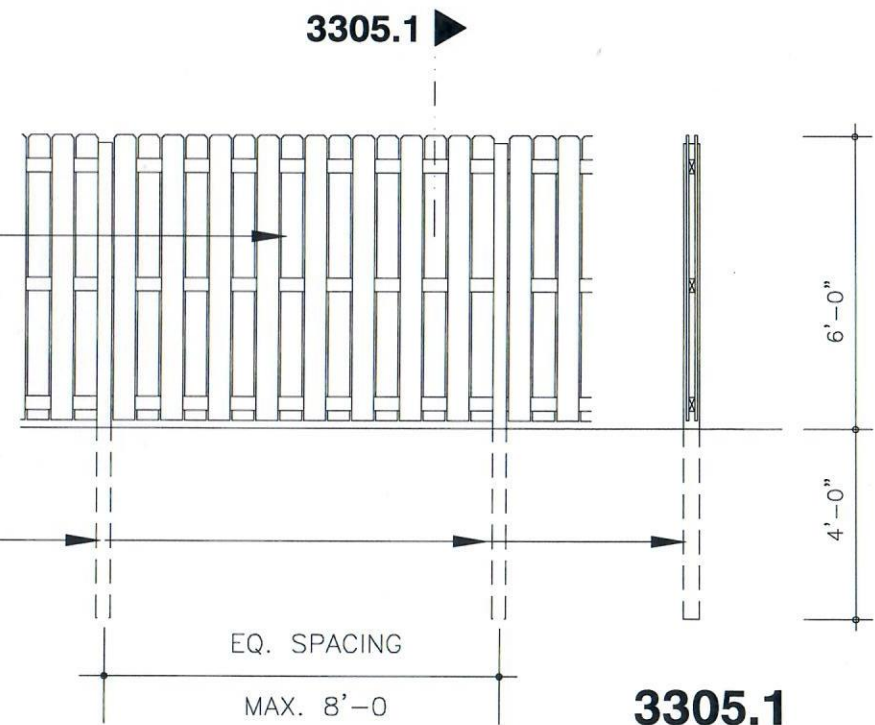
Typical  
Board on Board  
Fence

**3305**

SCALE: 1/4" = 1'-0"

NEW BOARD on BOARD FENCE,  
1x6 CLIPPED CORNER BOARDS @  
6" o.c. OPPOSING SIDES, 2x4  
RAILS AT 1/3 PTS, ALL PT, TYP.

ALL FENCE POSTS 4x4 PT SET IN  
COMPACTED EARTH or POROUS  
FILL, TYP.

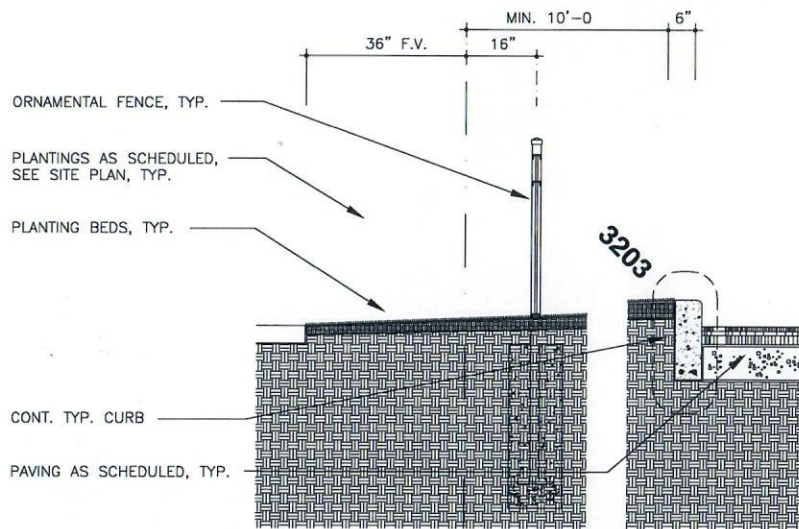
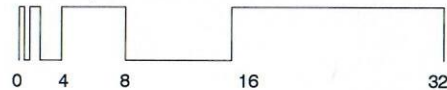




PROPOSED CAR SALES LOT with OFFICE

# 33A Site Plantings & Finishes Plan

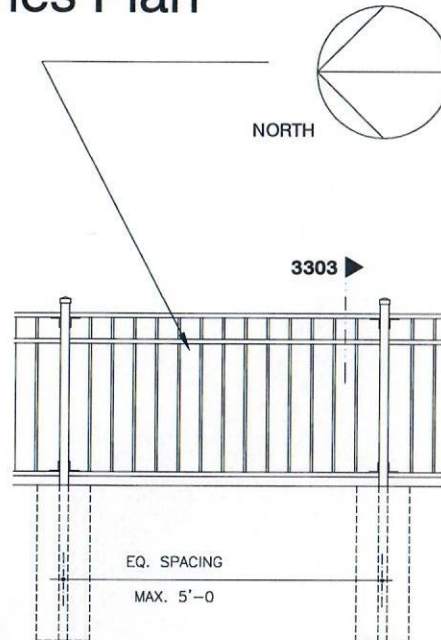
SCALE: 1/8" = 1'-0"



exst'g sidewalk  
NEW PLANTING BED  
NEW ORNAMENTAL FENCE  
NEW CURB  
NEW PARKING

## 3301

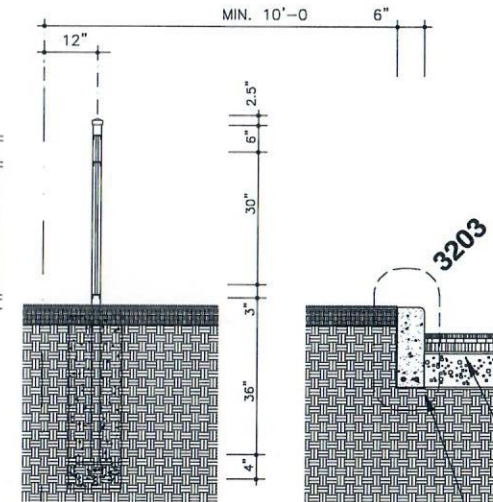
SCALE: 1/2" = 1'-0"



Typical  
Ornamental  
Fence

## 3302

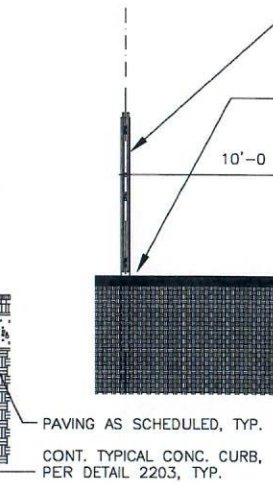
SCALE: 1/2" = 1'-0"



exst'g yard  
NEW FENCE  
NEW CURB  
NEW PARKING

## 3303

SCALE: 1/2" = 1'-0"

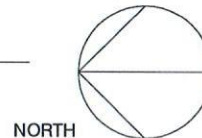


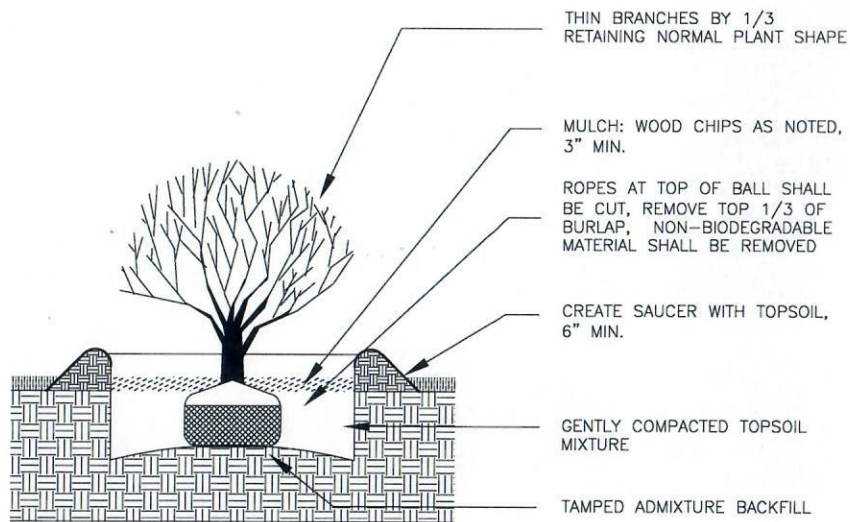
exst'g y  
NEW B  
NEW C  
NEW P

## 3304

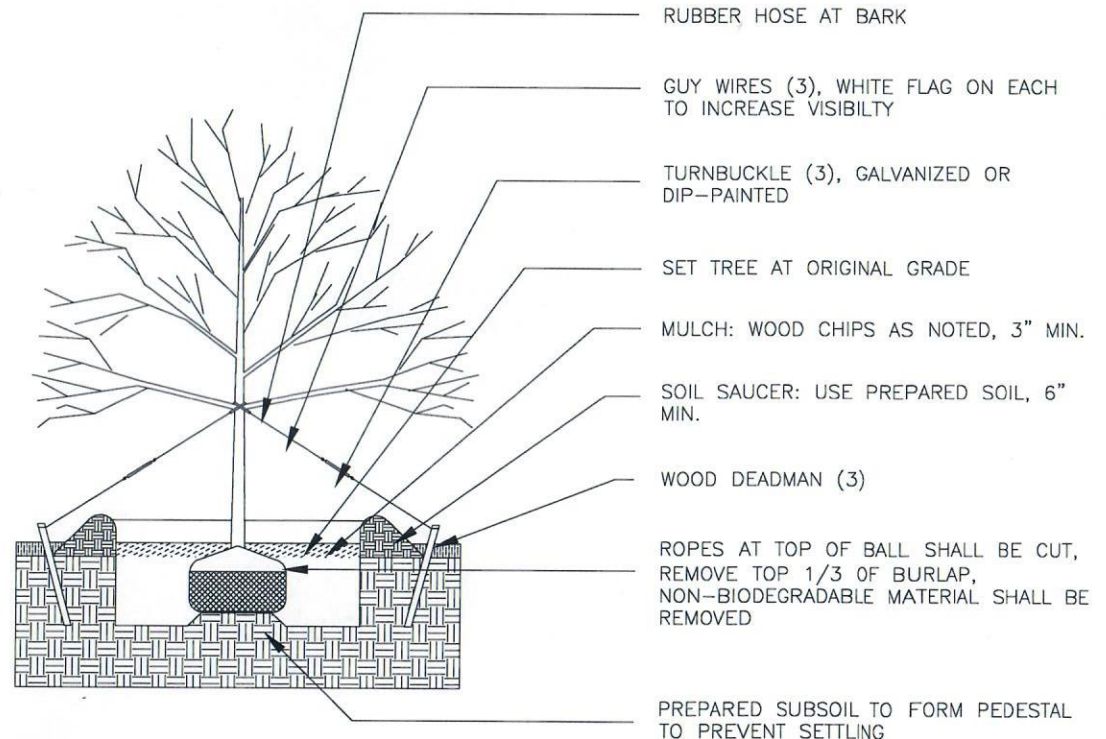
SCALE: 1/4" = 1'-0"

NEW ORNAMENTAL FENCE, MAX. 5' PANELS, STEEL, PAINTED, TOP & BOTTOM CHANNEL (1"x1.5"MIN.) w/ SAME INTERMEDIATE CHANNEL, MIN. 2.5" SQ. POSTS w/ DECORATIVE CAP, CAST IRON ONLY, 5/8" DIA. STEEL PICKETS AT 4.5'o.c., CONNECTION ANGLES FACTORY WELDED TO PANELS w/ FIELD BOLTED CONNECTIONS, POST FOUNDATION w/ min 8"x8" BASE PLATE WELDED TO POST SET ON COMPACTED POROUS FILL, BACKFILLED w/ LIGHTWEIGHT CONC., GALV. or POWDER COAT FINISH RECOMMENDED, TYP.





**3204** Bush Planting Detail  
NO SCALE



**3205** Tree Planting Detail  
NO SCALE



BOLLARD NOTE, COORD. LOCATION  
w/ SUBGRADE, SEE UTILITIES PLAN  
SD.34 & DRAWING M.30; BOLLARD  
DETAIL ON SD.34 PER DETAIL  
3404, TYP.

INFILL GABLE END FRAMING, SEE  
BUILDING SECTION, TYP.

OWNER SELECTED SILL DETAIL; STONE or  
HARDWOOD RECOMMENDED, COORD. w/  
WINDOW INSTALLATION & FINISH TRIM,  
TYP.

EA, MM, NEW,  
SEE E.30, TYP.

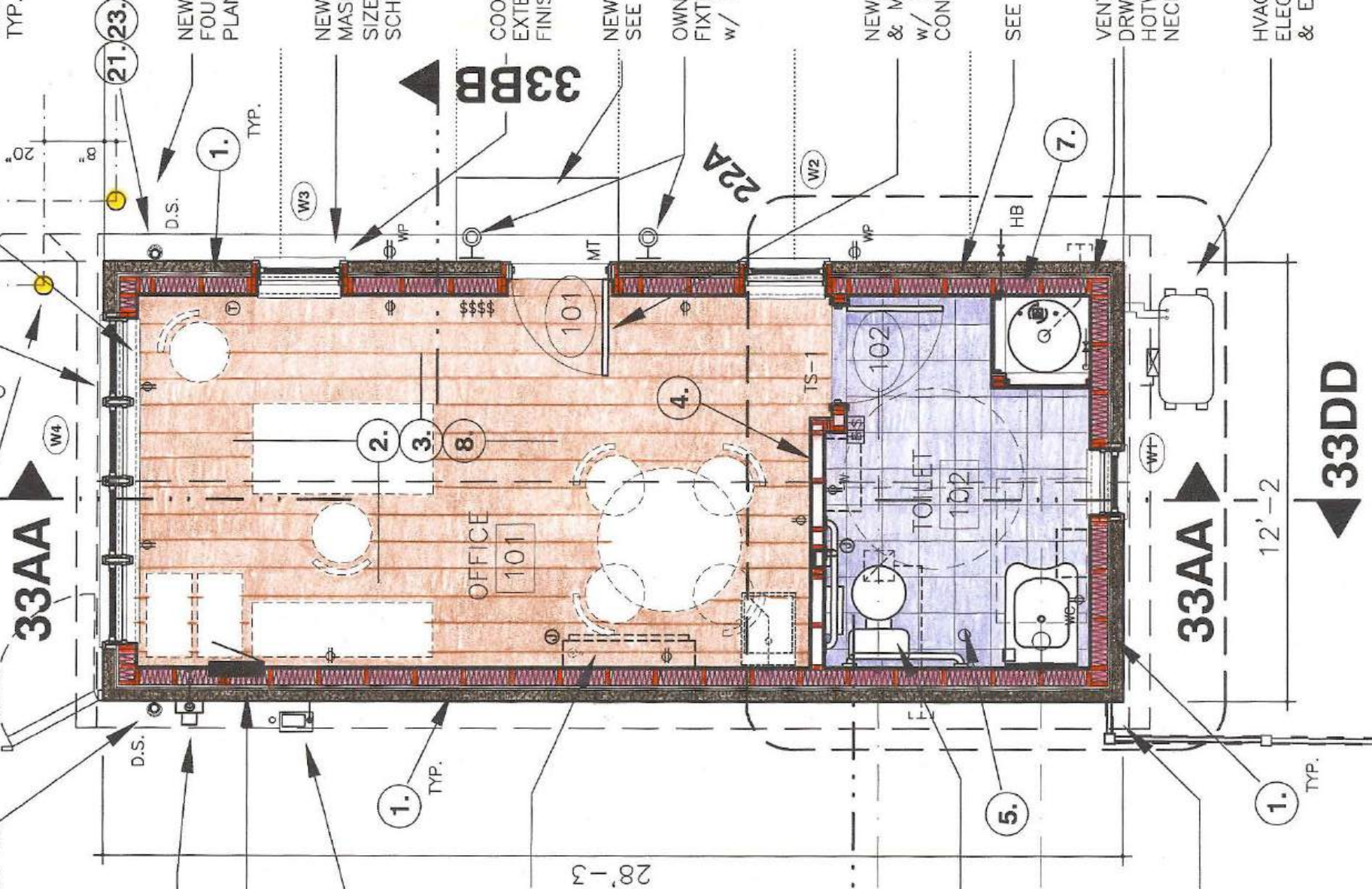
PANEL A, NEW,  
SEE DRWG. E.30

GAS MTR, NEW  
SEE DRWG. M.30

HVAC, SEE DRWG. M.30  
COORD. ELEC.  
SEE DRWG. E.30

EXHAUST FAN, SEE  
DRWG. M.30, COORD.  
POWER & SWITCHING,  
SEE E.30

FENCE CLOSURE  
RETURN PANEL, FIT  
TO CONDITIONS,  
ANCHOR ONLY TO  
FENCE POST,  
MAINTAIN 1" CLEAR  
OF REPLACEMENT  
STRUCTURE VENEER,  
TYP.

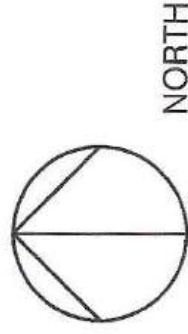
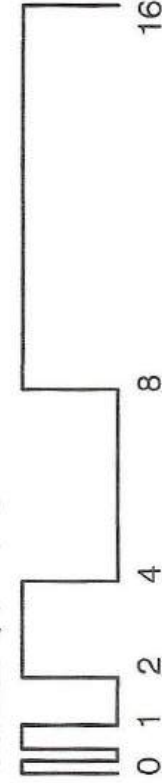


REPLACEMENT STRUCTURE

344 g.s.f.

# 31A Building Floor Plan

SCALE: 1/4" = 1'-0"





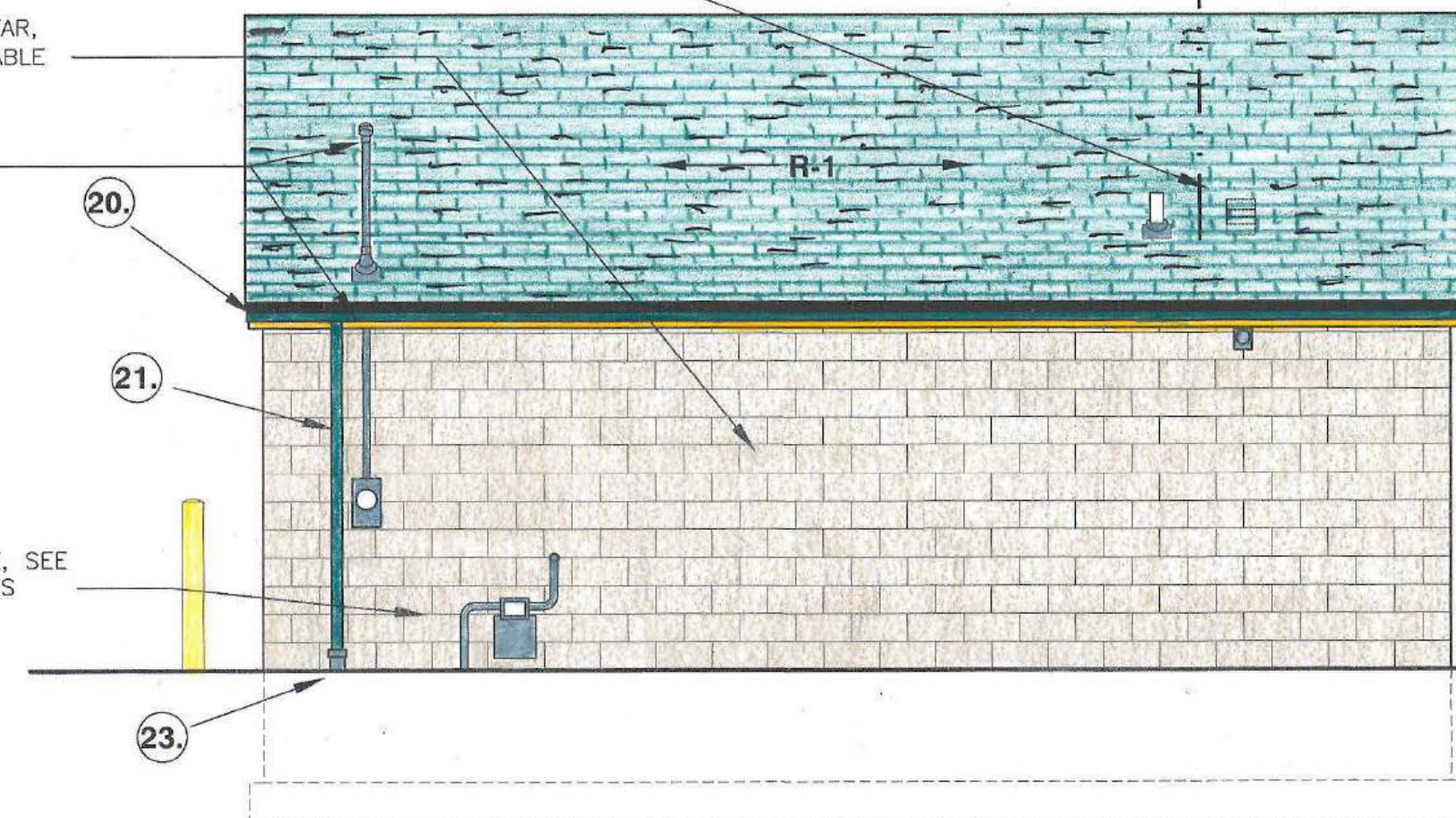
F.V. ROOF or WALL DISCHARGE  
FOR EXHAUST FAN, COORD. w/  
M.C., PREFERENCE FOR WALL  
DISCHARGE IF POSSIBLE, TYP.

REPLACEMENT STONE MASONRY  
VENEER FRAME STRUCTURE,  
HISTORIC HEAVY SAND MORTAR,  
SEAL MASONRY w/ BREATHABLE  
SEALER, TYP.

NEW EA & MM,  
SEE DRWG. E.30

NEW GAS METER & SERVICE, SEE  
DRWG. M.30 & SITE UTILITIES  
PLAN DRWG. SD.34, TYP.

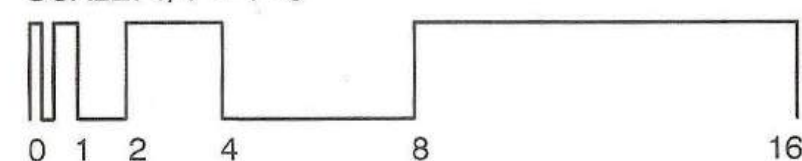
33CC



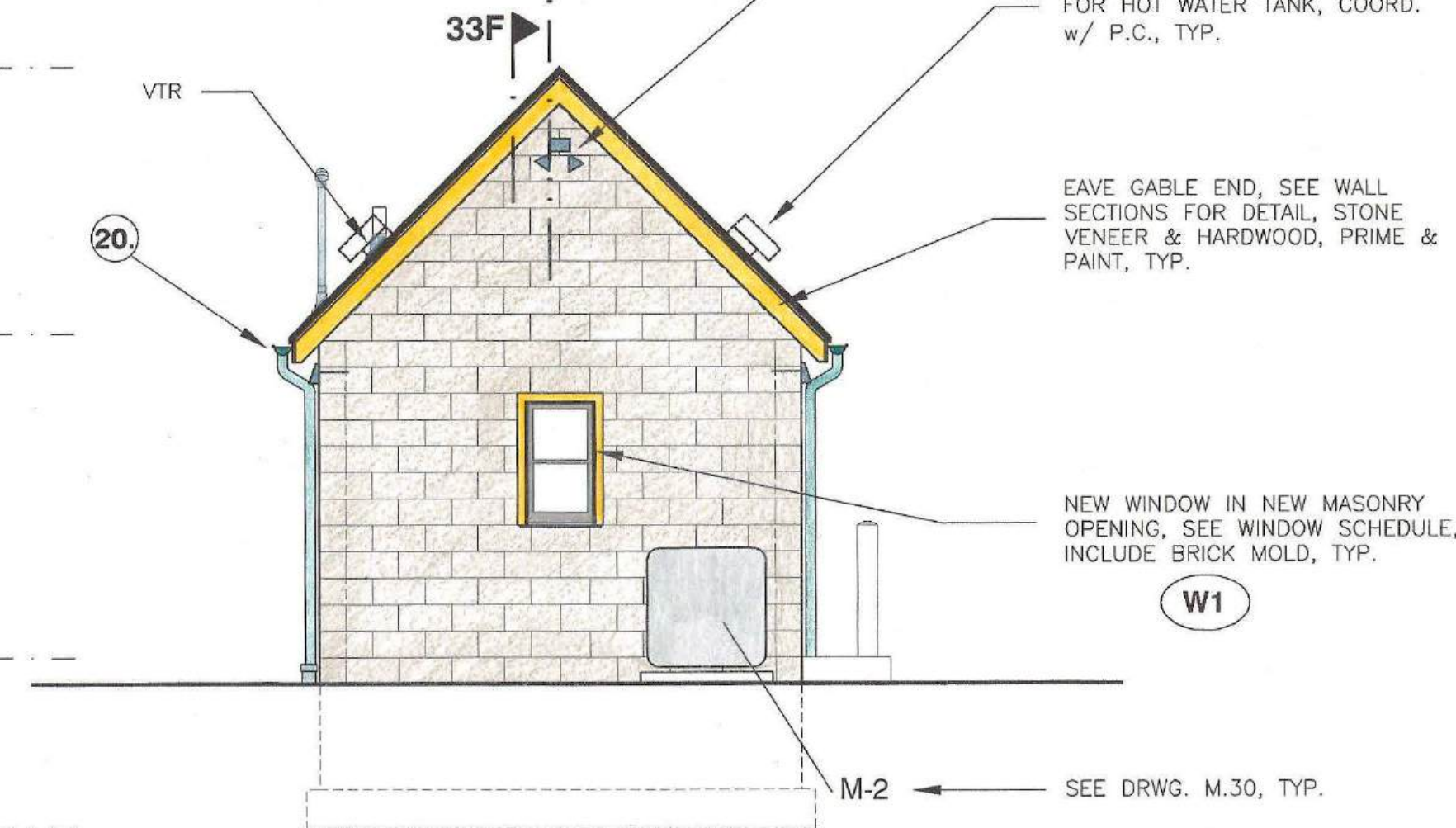
REPLACEMENT STRUCTURE

33A WEST Elevation

SCALE: 1/4" = 1'-0"



33AA



REPLACEMENT STRUCTURE

33B SOUTH Elevation

SCALE: 1/4" = 1'-0"

33BB

F.V. ROOF or WALL DISCHARGE  
FOR HOT WATER TANK, COORD.  
w/ P.C., PREFERENCE FOR WALL  
DISCHARGE, TYP.

HOSE BIB  
WATER METER  
REMOTE READ

M-2

NEW STOOP, SEE SITE PLAN  
SD.32 FOR GRADING & SPOT  
ELEVATIONS, TYP.  
(27"x54"x8" / -24")

REPLACEMENT STRUCTURE

33C EAST Elevation

SCALE: 1/4" = 1'-0"



OWNER SELECTED SCONCE  
FIXTURE; JELLY JAR WALL  
MOUNTED INDICATED, COORD. w/  
E.C., TYP.

NEW ENTRY DOOR,  
SEE FLOOR PLAN  
& DOOR SCHEDULE, TYP.

BOLLARD, PER  
DETAIL 3404, TYP.

REPLACEMENT STRUCTURE  
FOUNDATION COMPLETE, SEE  
FOUNDATION PLAN,  
DRAWING S.30, TYP.

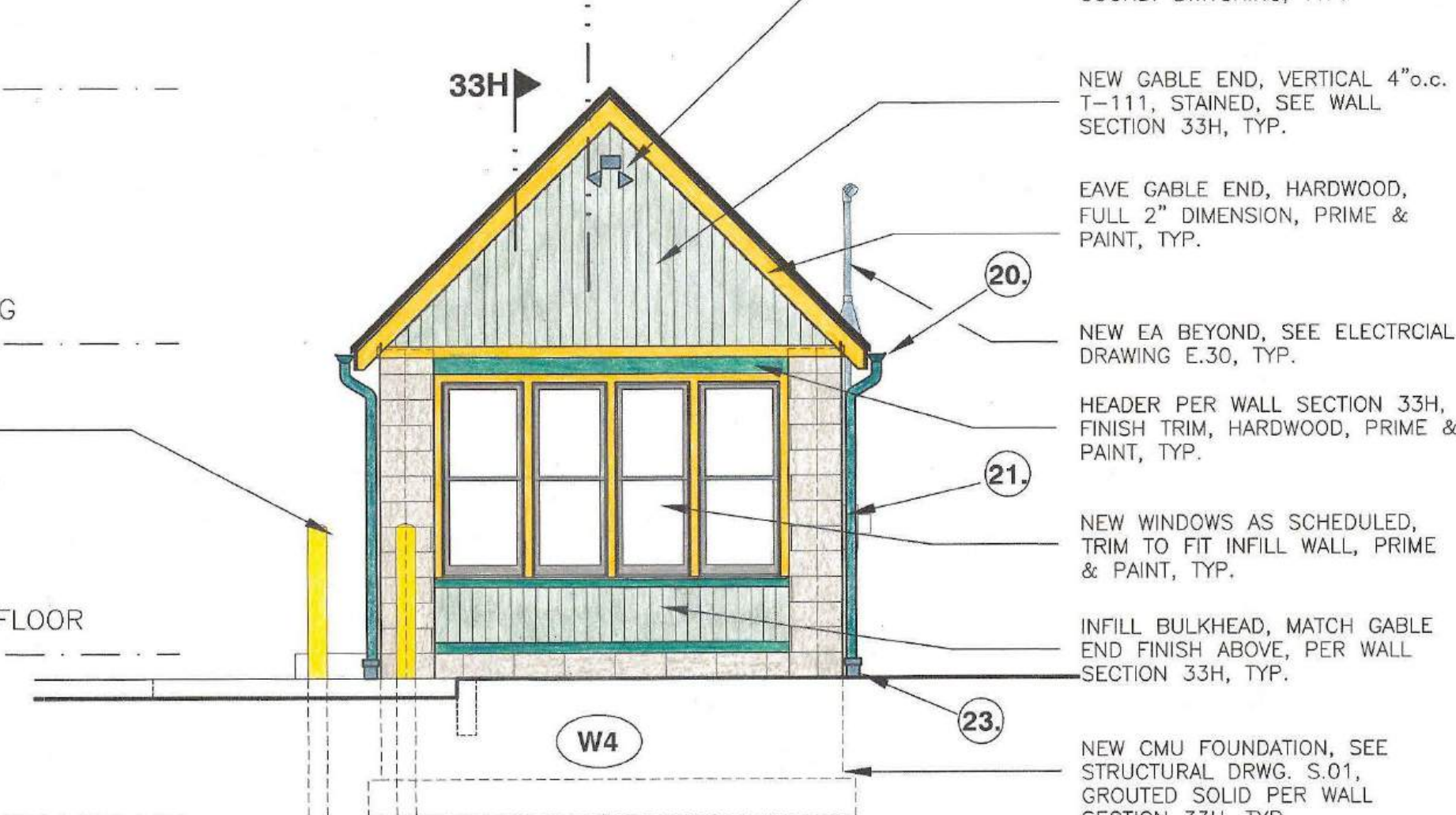
RIDGE

BEARING

FIRST FLOOR

B.O.F.

33DD



"S" FIXTURE, OWNER OPTION,  
COORD. SWITCHING, TYP.

NEW GABLE END, VERTICAL 4" o.c.  
T-111, STAINED, SEE WALL  
SECTION 33H, TYP.

EAVE GABLE END, HARDWOOD,  
FULL 2" DIMENSION, PRIME &  
PAINT, TYP.

NEW EA BEYOND, SEE ELECTRICAL  
DRAWING E.30, TYP.

HEADER PER WALL SECTION 33H,  
FINISH TRIM, HARDWOOD, PRIME &  
PAINT, TYP.

NEW WINDOWS AS SCHEDULED,  
TRIM TO FIT INFILL WALL, PRIME  
& PAINT, TYP.

INFILL BULKHEAD, MATCH GABLE  
END FINISH ABOVE, PER WALL  
SECTION 33H, TYP.

NEW CMU FOUNDATION, SEE  
STRUCTURAL DRWG. S.01,  
GROUTED SOLID PER WALL  
SECTION 33H, TYP.

33D NORTH Elevation

SCALE: 1/4" = 1'-0"

Existing Conditions Notes:



### 301 EXTERIOR COLORS:

SYMBOL	COLOR NO.	COLOR	FINISH	LOCATION	REMARKS
PT-10	SW# 6741	Derbyshire	gloss	gutters and downspouts	color to be validated
PT-11	SW# 6073	Perfect Greige	flat	stone	color to match "sandstone"
PT-12	SW# 7757	High Reflective White	flat	soffit	OR "soft grey"
PT-13	SW# 6740	Kilkenny	gloss	accent trim	color to be validated
PT-14	SW# 6730	Romaine	semi-gloss	exterior wall panel	could match PT-13
PT-15	SW# 6258	Tricorn Black	gloss / flat	ornamental fence	color to be validated
PT-16	SW# 0037	Morris Room Grey	semi-gloss	sash	matches Pella window color "Fossil"
PT-17	SW# 6690	Gambol Gold	semi-gloss	window & door trim	includes roof eave fascia & gutter board
PT-18	SW# 6906	Citrus	gloss	bollards	color to be "safety yellow"
PT-19	SW# ____	xxx	semi-gloss	xxx	color to be validated

PT-15 INCLUDES DRIP EDGE & ALL  
FLASHINGS ABOVE & BELOW DRIP EDGE,  
TYP.

30 JUNE 2025

**DESIGN PRESENTATION**

AKW, Inc. Proj. No. 2037a

ARCHITECTURE  
PLANNING  
DESIGN  
RESTORATION  
PRESERVATION

**6806 Harvard Avenue**

B21007055

**EXTERIOR COLORS:**

(from drawing A.33)

YG/G/138 SW 6741 <sup>P</sup>	Derbyshire	PT-10	Derbyshire sw 6741
FN74 SW 6073	Perfect Greige	PT-11	Perfect Greige sw 6073
		PT-12	High Reflective White sw 7757
YG/G/137 SW 6740 <sup>◇</sup>	Kilkenny	PT-13	Kilkenny sw 6740
YG/G/113 SW 6730	Romaine	PT-14	Romaine sw 6730
FN259 SW 6258	Tricorn Black	PT-15	Tricorn Black sw 6258
IPP/37 SW 0037 <sup>◇</sup>	Morris Room Grey	PT-16	Morris Room Grey sw 0037
YG/G/5 SW 6690 <sup>P</sup>	Gambol Gold	PT-17	Gambol Gold sw 6690
YO/Y/94 SW 6906 <sup>P</sup>	Citrus	PT-18	Citrus sw 6906













# Cleveland City Planning Commission

## Staff Report

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

July 18, 2025



## **CSE2025-026** – 6806 Harvard, Car Sales Lot w/ Office

July 18, 2025

CSEDRAAC recommended final approval with conditions on 7/8/25:

- Specify the shrub type named everlow yew
  - Space proposed shade trees at 30 ft on center
  - Clean up drive apron and entry drive by sliding curb apron east along Harvard Ave
  - Eliminate two bollards at the front due to that adjustment
  - Pull the ornamental fence back from the proposed curb approximately 3 ft.
-

# Cleveland City Planning Commission

## Northeast Design Review

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

July 18, 2025



## **NE2025-018** – AsiaTown Wayfinding Sign Program

July 18, 2025

Project Address: AsiaTown, Cleveland

Type: Signage

Project Representative: Kevin Fromet, Guide Studio

Approval: Final

---

**Ward 7: Council Member Howse-Jones**

**SPA: Goodrich-Kirtland Pk**

**CDC: Famicos Foundation**



# Wayfinding Sign Program

# AsiaTown

60% DESIGN INTENT | MID1866 | APRIL 22, 2025



COLORS

	PAINT <sup>1</sup>	VINYL	REFLECTIVE VINYL <sup>2</sup>	PRINT <sup>3</sup>
C1 MATTE BLACK	Matthews Paint MP30116 Black Umber	–	–	–
C2 BRIGHT RED	Matthews Paint Real Red #6868	Print to match	–	Pantone: 3517C
C3 DARK RED	Matthews Paint Bolero 7600	Print to match	–	Pantone: 7623C
C4 GOLD	Matthews Paint SW 6904 Gusto Gold	Print to match	–	Pantone: 1235C
C5 WHITE	Matthews Paint MP32071 White Wonder	3M Matte White 100	3M High Intensity Grade Prismatic Reflective Sheeting 3930DS, White	

<sup>1</sup> Painted surfaces should have a satin finish unless specified otherwise in the sign type drawings.

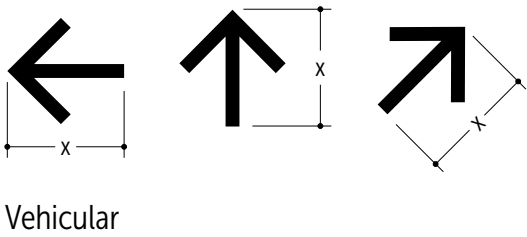
<sup>2</sup> Certain sign faces or letters require retro-reflective graphics & will need to be printed on reflective white sheet to achieve proper color match (see sign type drawings). ODOT/MUTCD requirements must be met.

<sup>3</sup> Pantone & CMYK values are provided as starting points for color matching. Printed colors are to match the paint specified.

ARROWS

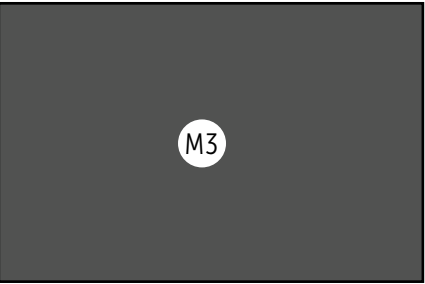
Designer to provide final artwork

X dimension should remain the same when rotating arrow



Vehicular

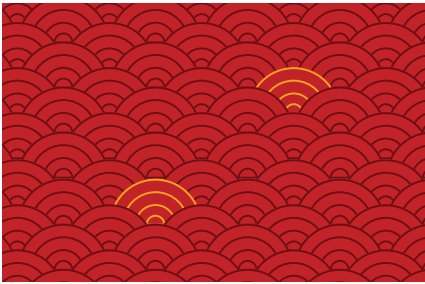
MATERIALS



CONCRETE

PATTERNS

Designer to provide final artwork



TYPOGRAPHY

Fonts must be purchased or obtained by sign contractor.

T1 Interstate Regular  
available at [fonts.adobe.com](https://fonts.adobe.com)

Aa Bb Cc Dd Ee Ff Gg Hh Ii Jj Kk Ll Mm Nn Oo  
Pp Qq Rr Ss Tt Uu Vv Ww Xx Yy Zz  
1 2 3 4 5 6 7 8 9 0

T2 ClearviewHwy-2-W  
available at [terminaldesign.com](https://terminaldesign.com)

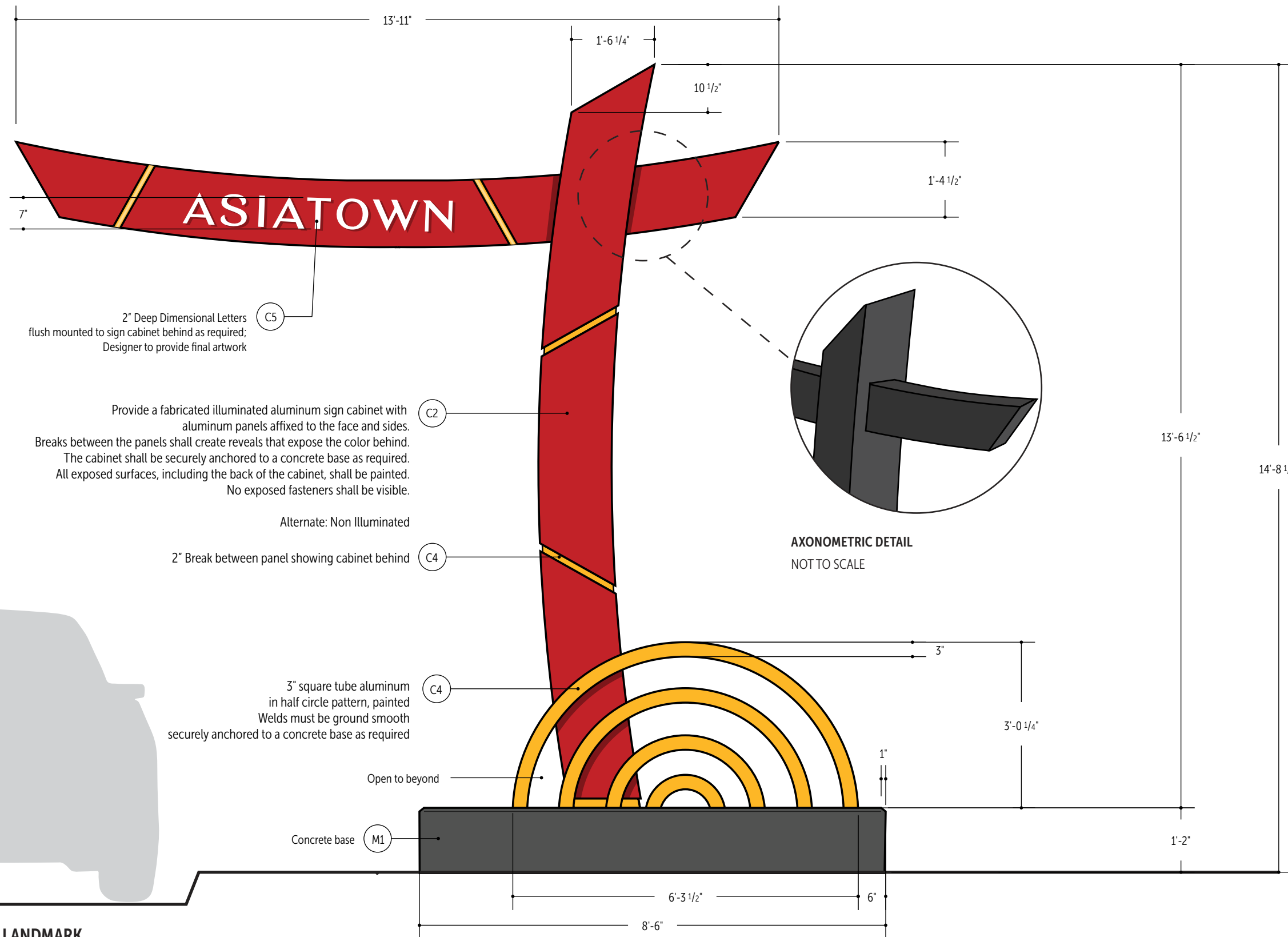
Aa Bb Cc Dd Ee Ff Gg Hh Ii Jj Kk Ll Mm Nn  
Oo Pp Qq Rr Ss Tt Uu Vv Ww Xx Yy Zz  
1 2 3 4 5 6 7 8 9 0

LOGOTYPES

Designer to provide final artwork



A  
S  
I  
A  
T  
O  
W  
N



2" Deep Dimensional Letters (C5)  
flush mounted to sign cabinet behind as required;  
Designer to provide final artwork

Provide a fabricated illuminated aluminum sign cabinet with  
aluminum panels affixed to the face and sides.  
Breaks between the panels shall create reveals that expose the color behind.  
The cabinet shall be securely anchored to a concrete base as required.  
All exposed surfaces, including the back of the cabinet, shall be painted.  
No exposed fasteners shall be visible.

Alternate: Non Illuminated

2" Break between panel showing cabinet behind (C4)

3" square tube aluminum (C4)  
in half circle pattern, painted  
Welds must be ground smooth  
securely anchored to a concrete base as required

Open to beyond


Concrete base (M1)

AXONOMETRIC DETAIL  
NOT TO SCALE

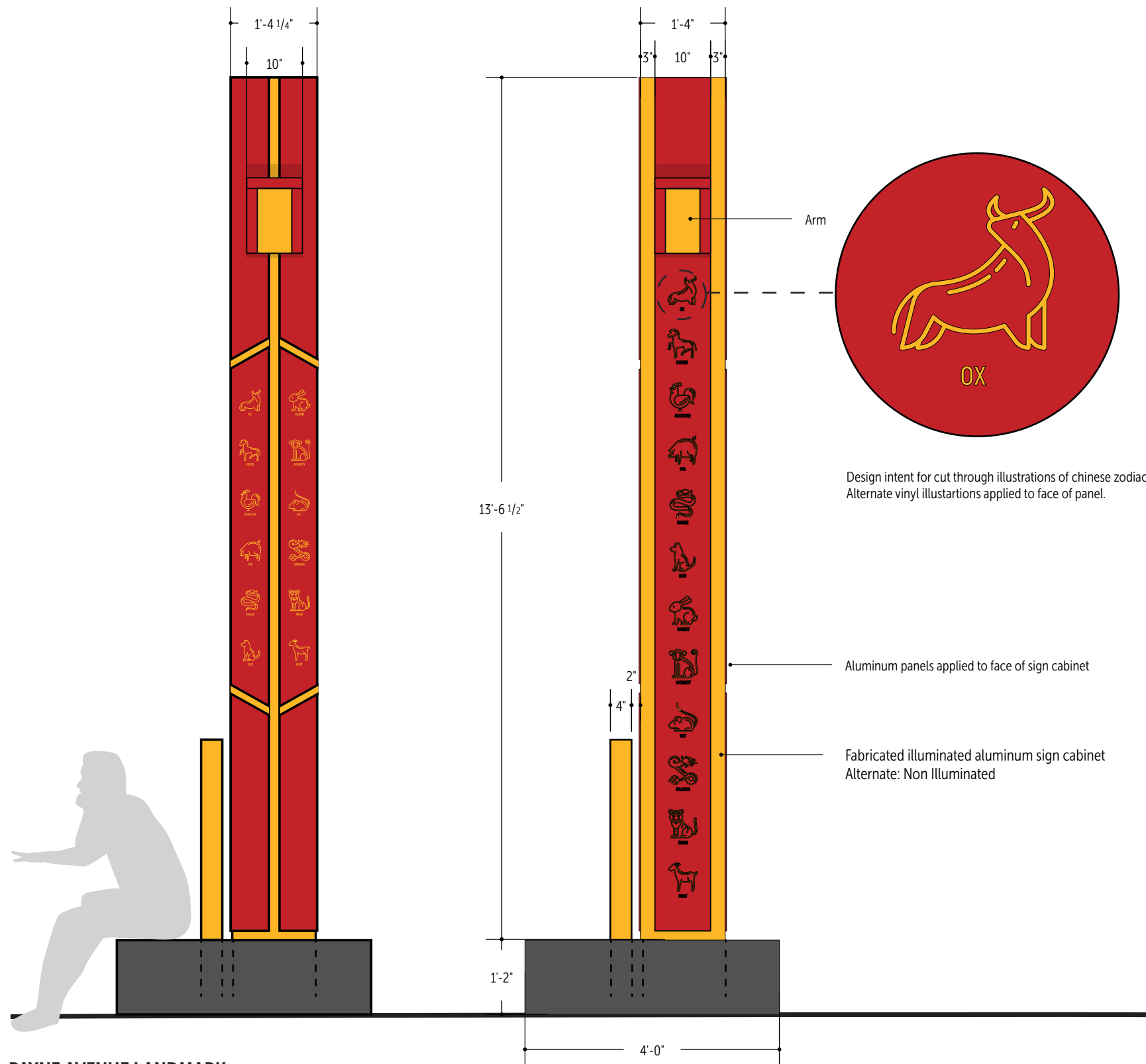
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**PAYNE AVENUE LANDMARK**

SCALE: 1/4" = 1'

date 04.22.2025	contact	project MID1866	phase Design Intent 60%	<b>NOT FOR CONSTRUCTION</b> These drawings and notes are for the sole purpose of expressing visual design intent and are not intended for actual fabrication purposes. Sign Contractor accepts total responsibility for final material selection, fabrication and installation methods. Electronic files are not construction documents and cannot be relied upon as identical to construction documents because of changes or errors induced by translation, transmission, or alterations while under the control of others. Use of information contained in the electronic files is at the user's sole risk and without liability to Design Professional and its consultants. Refer to provided performance specifications for details on designer expectations of Fabricator and fabrication process. Copyright © Guide Studio, Inc. All rights reserved.	sheet
	pm E. Deutsch design M. Mytinger	AsiaTown Wayfinding Sign Program	Payne Avenue Landmark A1		2



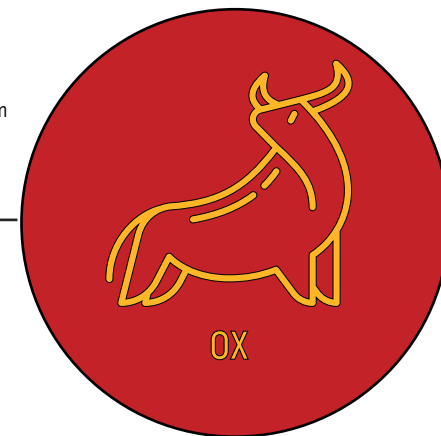


PAYNE AVENUE LANDMARK

SIDE VIEW

SCALE: 1/4" = 1'

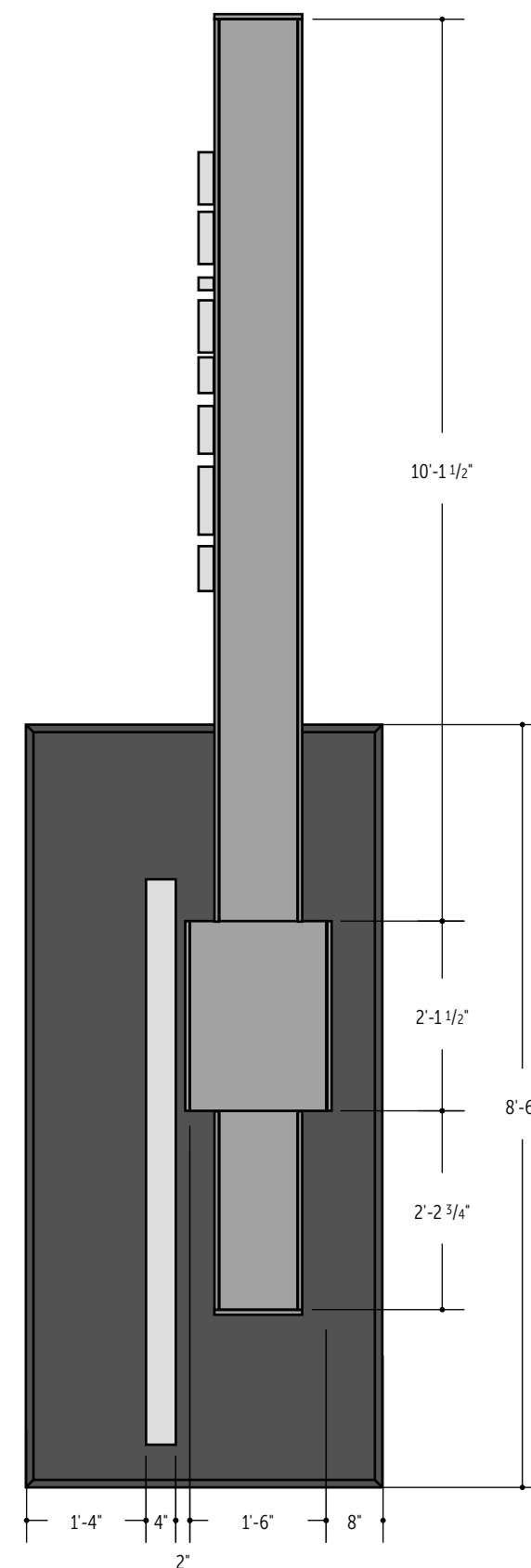
ALTERNATE



Design intent for cut through illustrations of chinese zodiac in panels.  
Alternate vinyl illustrations applied to face of panel.

Aluminum panels applied to face of sign cabinet

Fabricated illuminated aluminum sign cabinet  
Alternate: Non Illuminated



TOP VIEW

#### GENERAL NOTES

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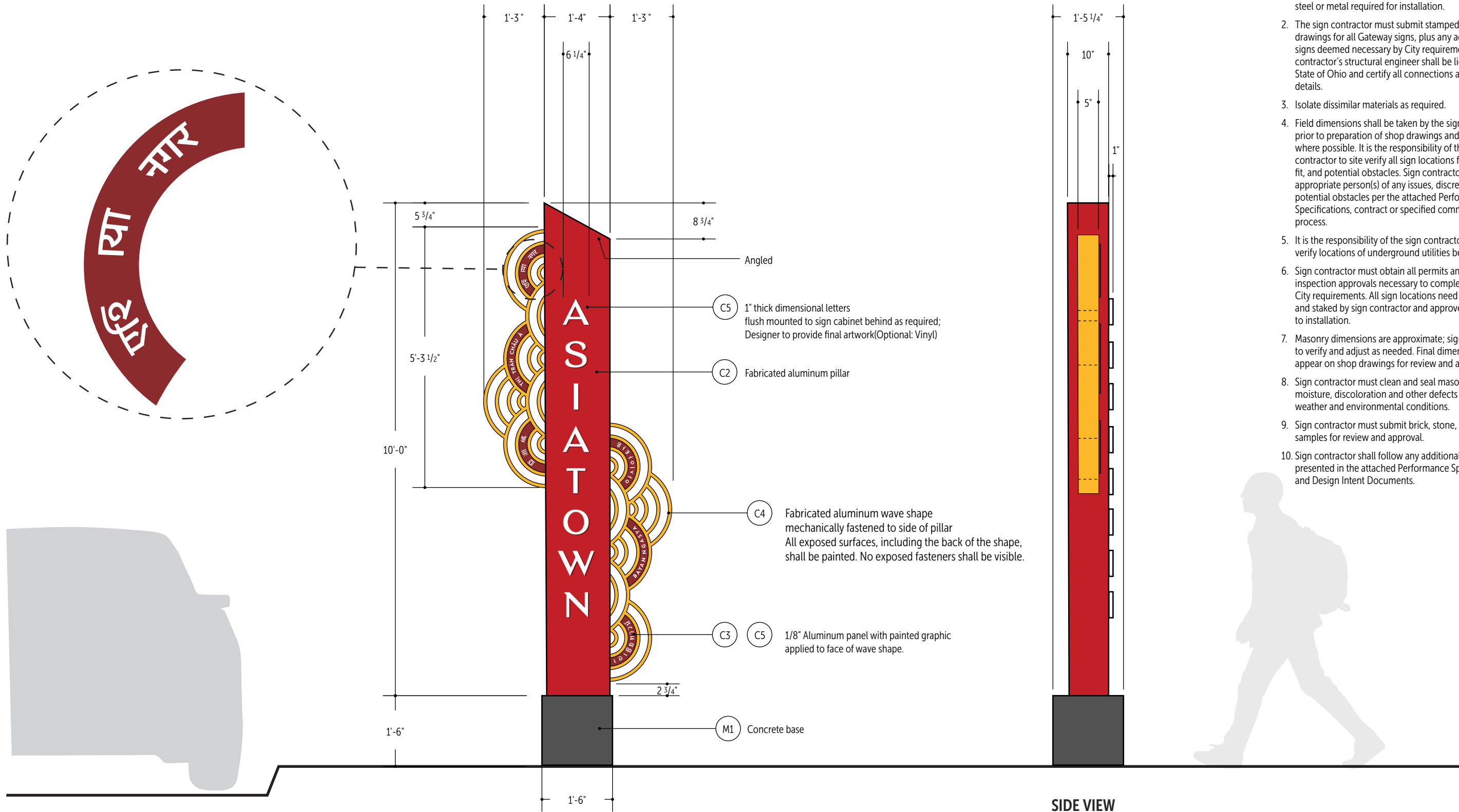
project MID1866

phase Design Intent 60%

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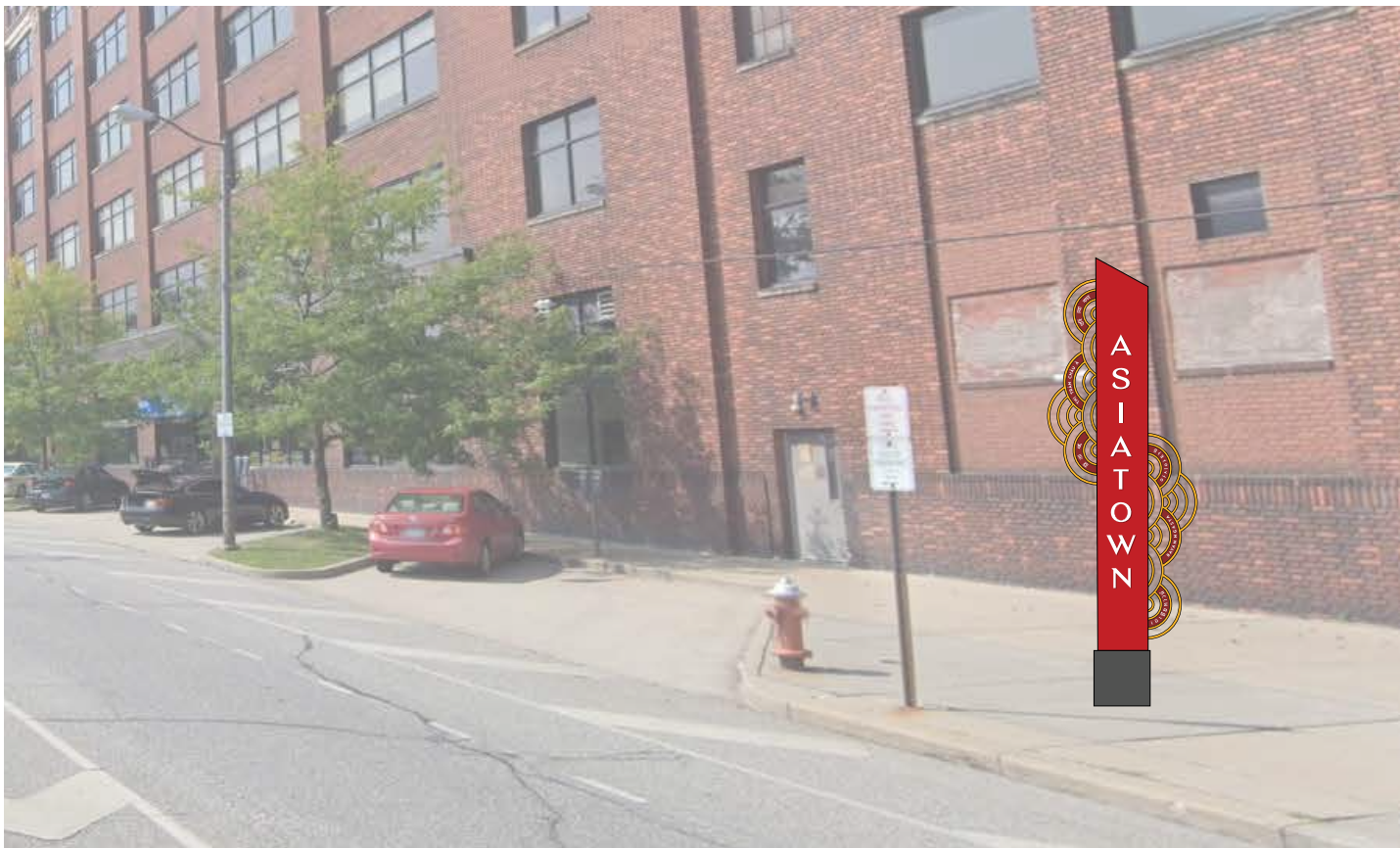
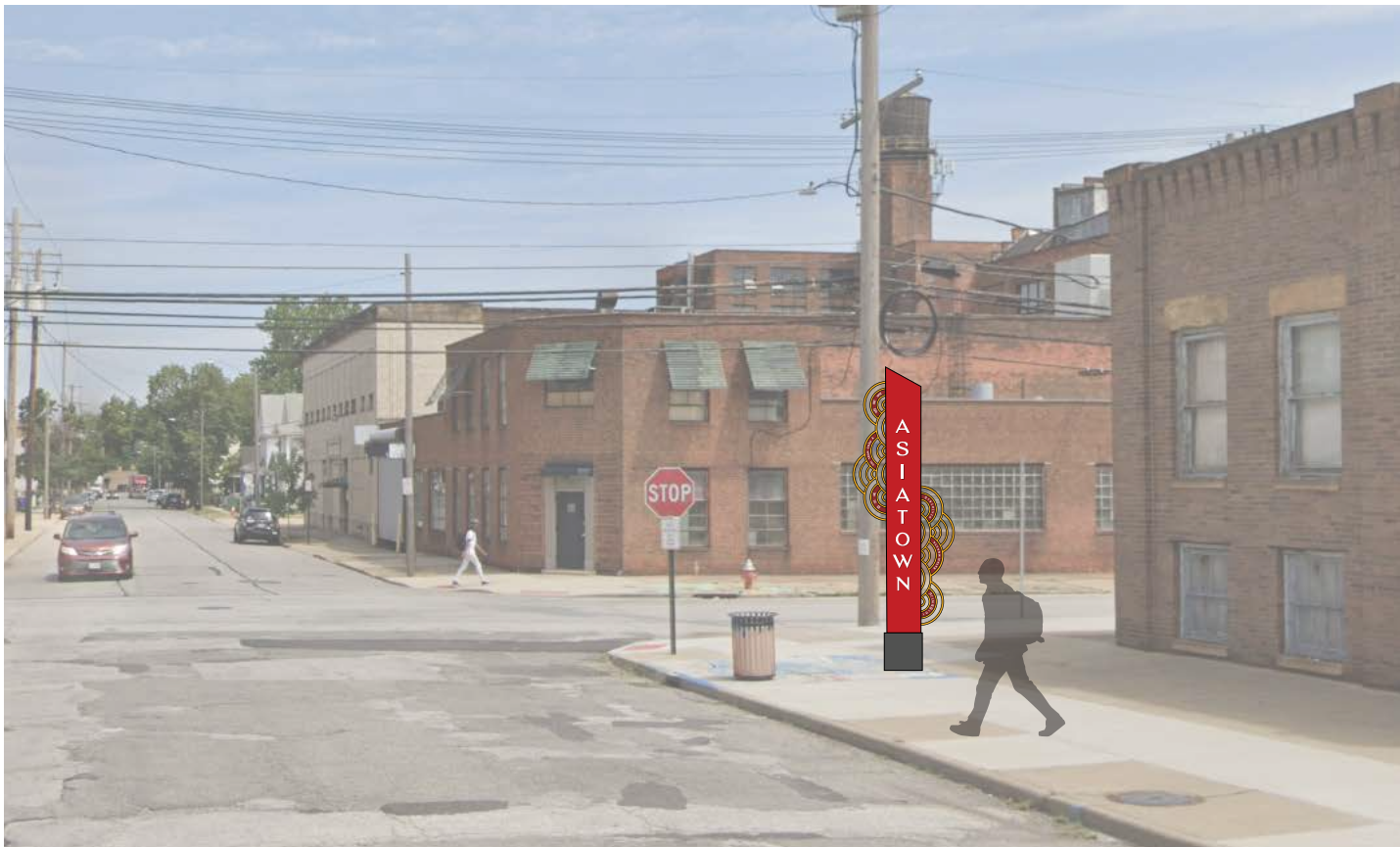


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SCALE: 1/2" = 1'  
PRIMARY GATEWAY

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	pmE. Deutsch designM. Mytinger	AsiaTown Wayfinding Sign Program	Primary Gateway A2		4





date 04.22.2025

contact

project MID1866

phase Design Intent 60%

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guidestudio.com

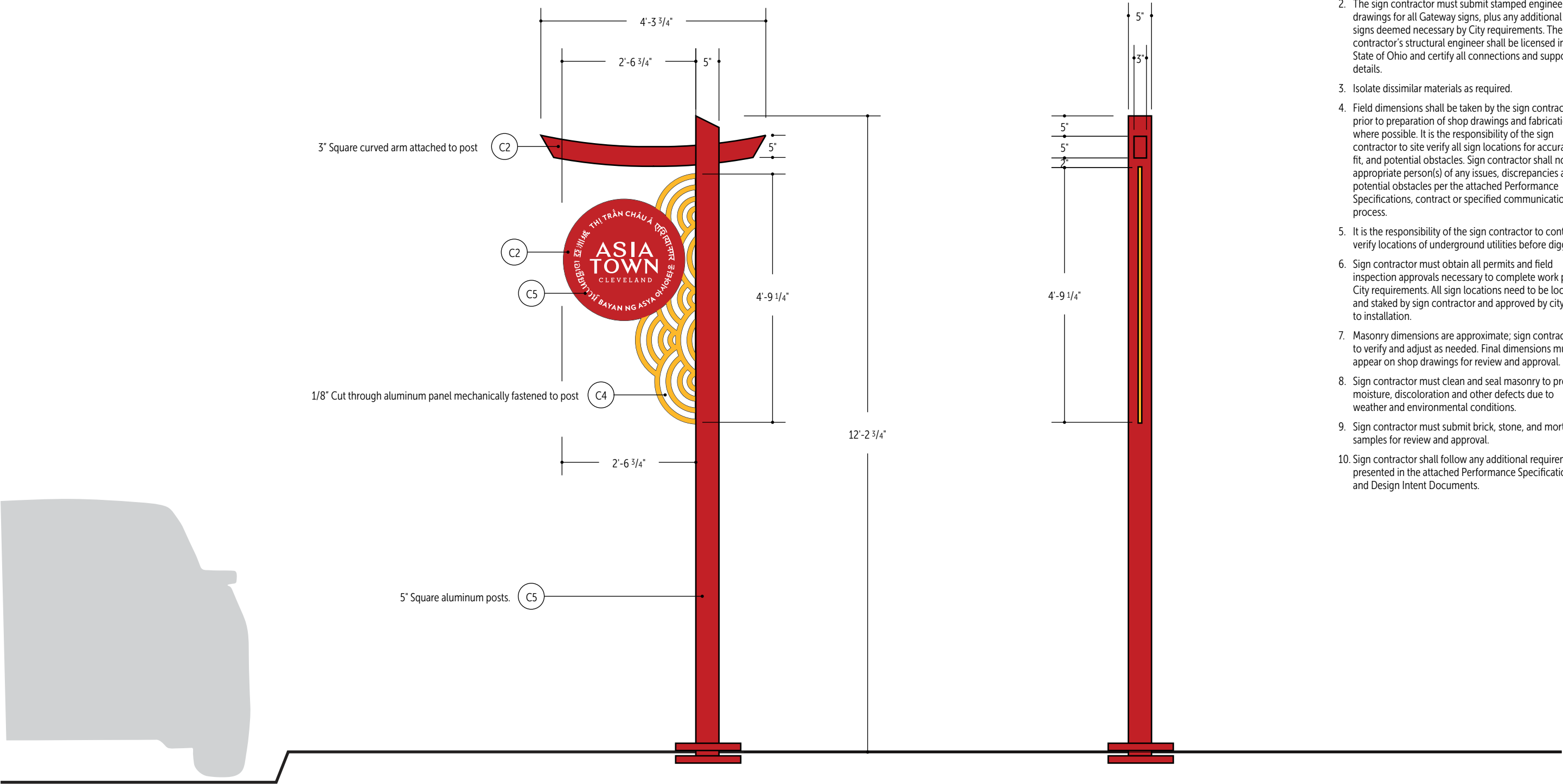
pm E. Deutsch  
design M. Mytinger

**AsiaTown**  
Wayfinding Sign Program

**Primary Gateway**  
A2

**5**





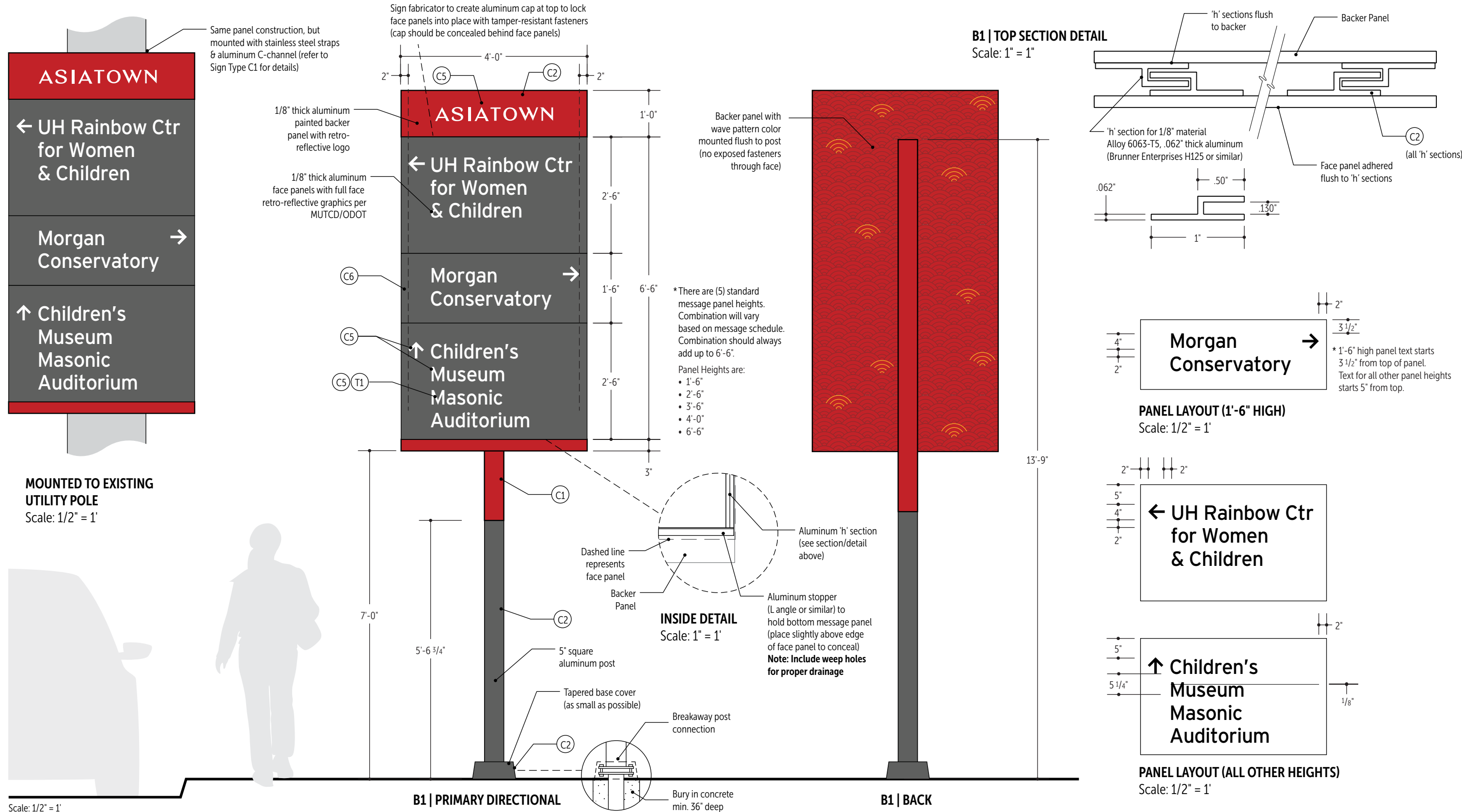
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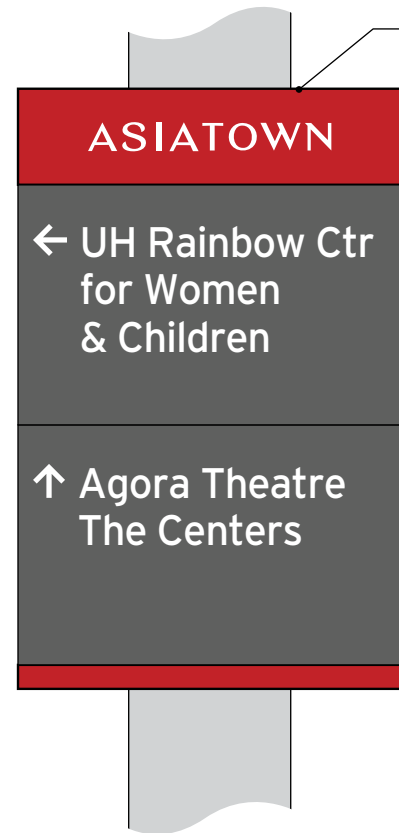
SECONDARY GATEWAYS

SCALE: 1/2" = 1'

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	pmE. Deutsch designM. Mytinger	AsiaTown Wayfinding Sign Program	Secondary Gateways A3		6

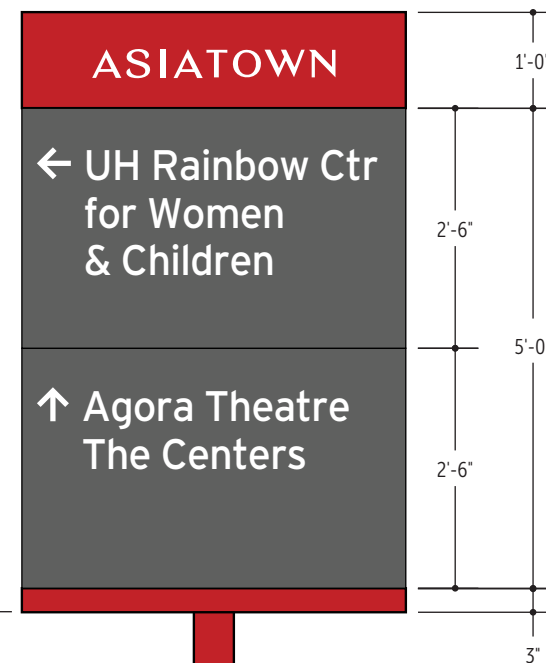






**MOUNTED TO EXISTING  
UTILITY POLE**  
Scale: 1/2" = 1'

\*All other dimensions & specifications  
match Sign Type B1



\*There are (4) standard  
message panel heights.  
Combination will vary  
based on message schedule.  
Combination should always  
add up to 5'-0".  
Panel Heights are:  
• 1'-6"  
• 2'-6"  
• 3'-6"  
• 5'-0"

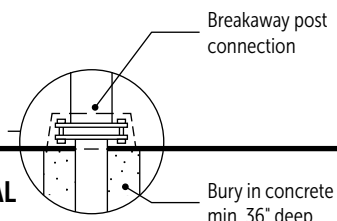


12'-3 1/2"



Scale: 1/2" = 1'

**B2 | SECONDARY DIRECTIONAL**



**B2 | BACK**

date 04.22.2025

contact

project MID1866

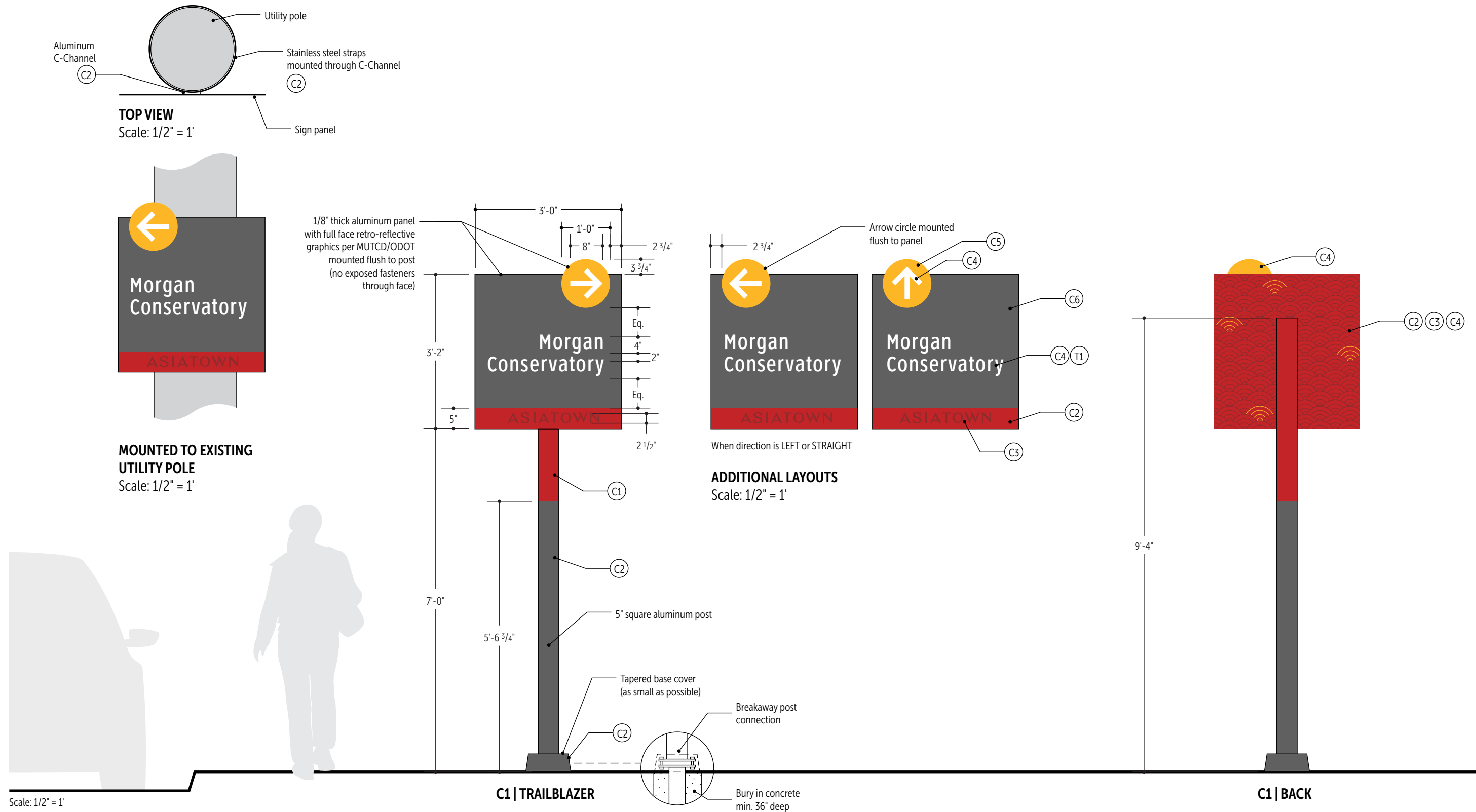
phase Design Intent 60%

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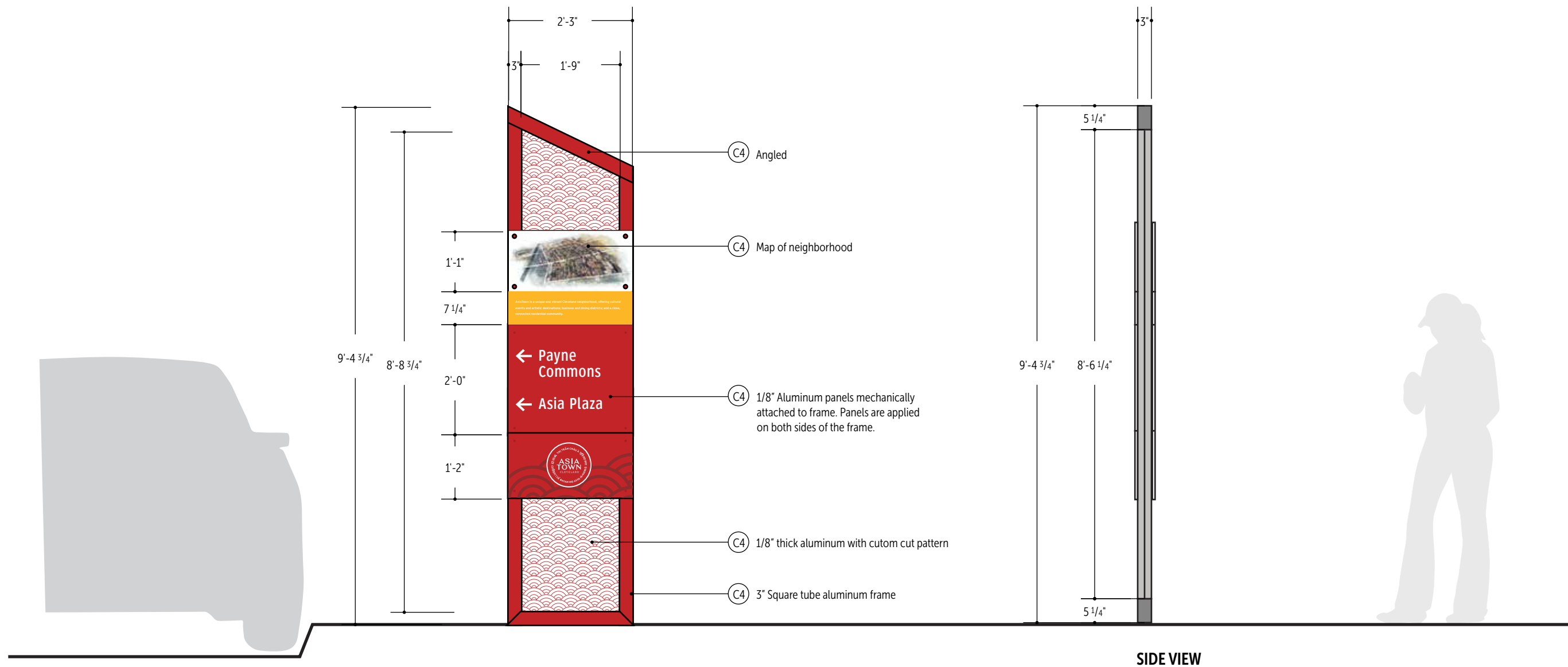
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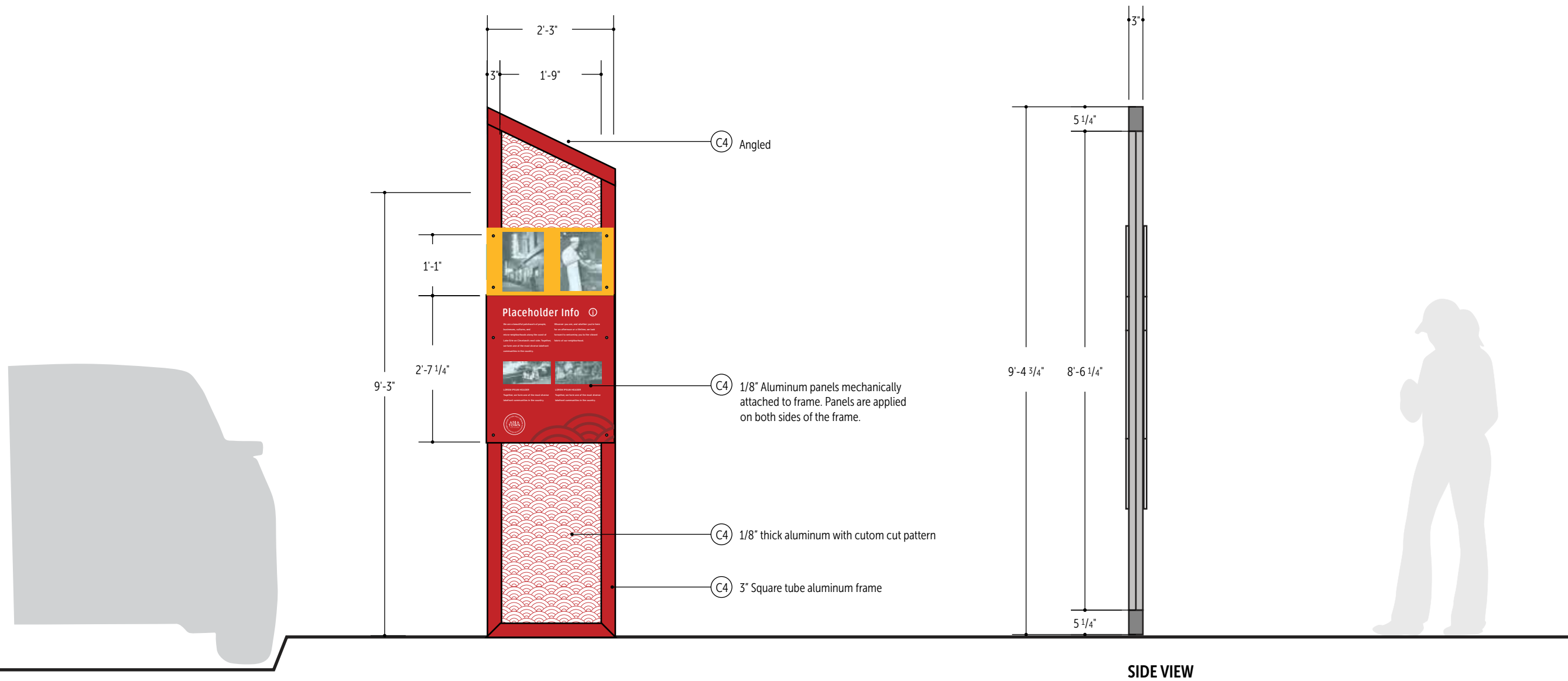
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PEDESTRIAN DIRECTIONALS

SCALE: 1/2" = 1'





CULTURAL INFO KIOSK

SCALE: 1/2" = 1'

date 04.22.2025

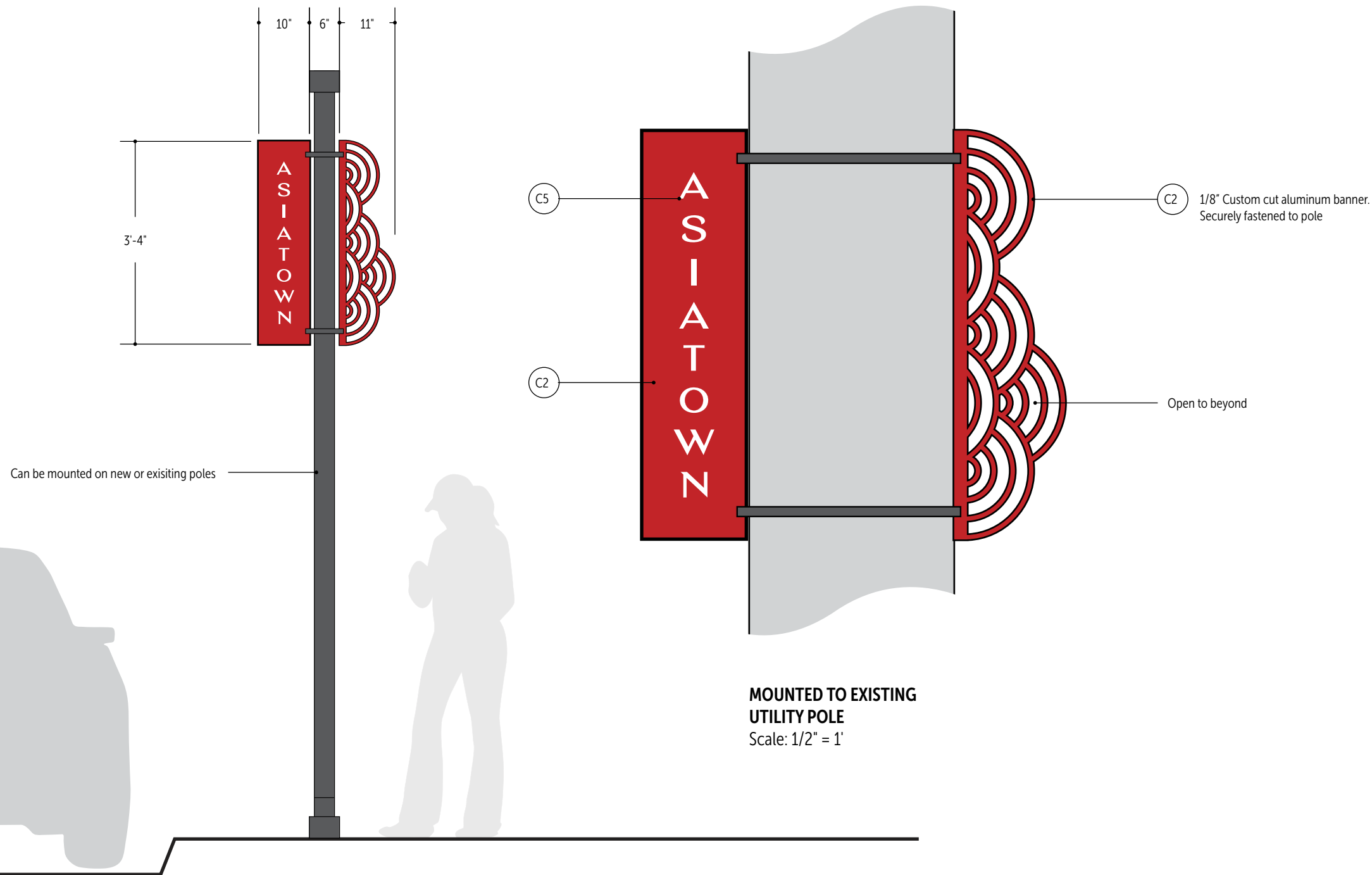
contact

project MID1866

phase Design Intent 60%


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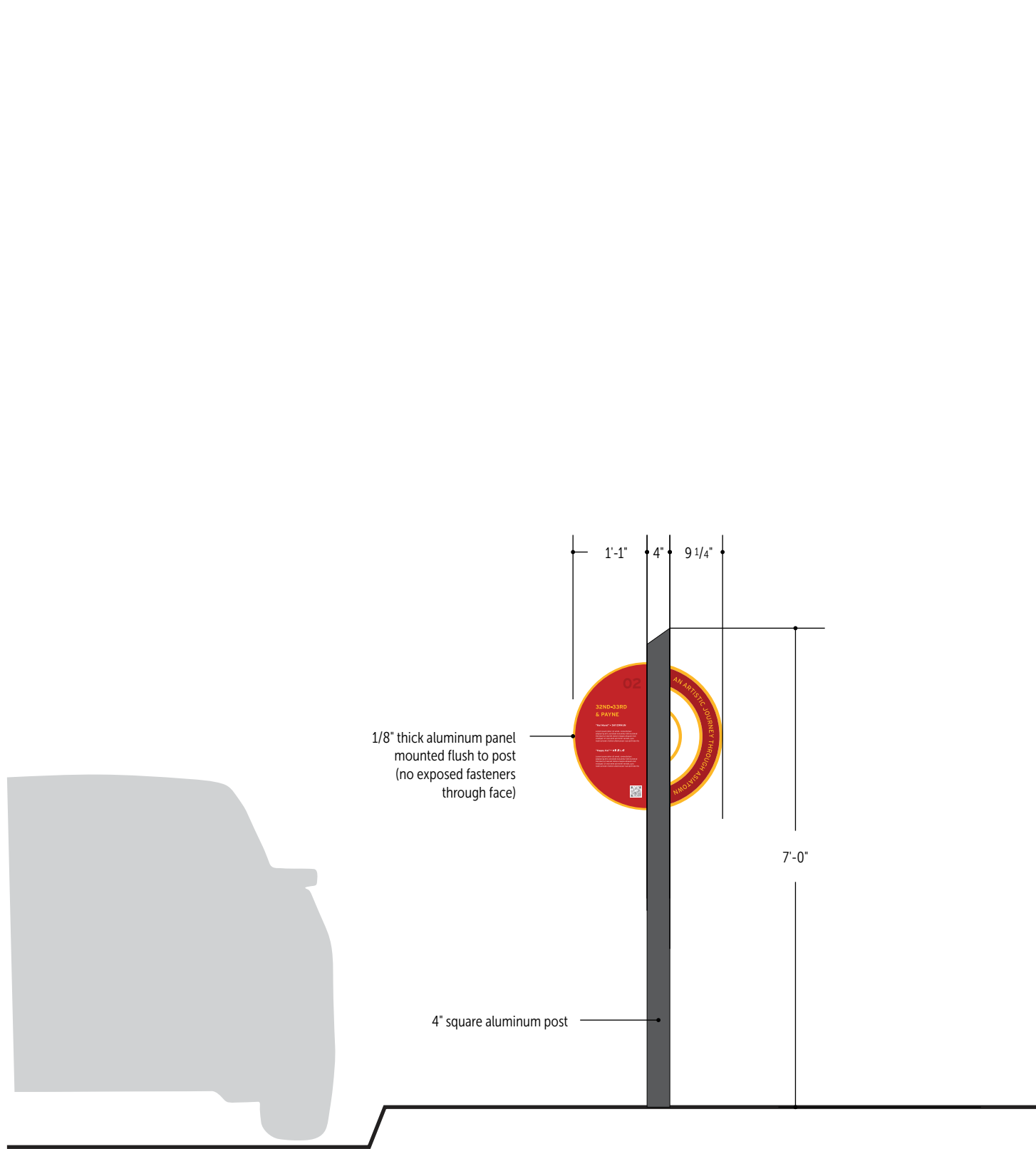


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**BANNERS**  
SCALE: 1/2" = 1'

date 04.22.2025	contact	project MID1866	phase Design Intent 60%	<b>NOT FOR CONSTRUCTION</b> These drawings and notes are for the sole purpose of expressing visual design intent and are not intended for actual fabrication purposes. Sign Contractor accepts total responsibility for final material selection, fabrication and installation methods. Electronic files are not construction documents and cannot be relied upon as identical to construction documents because of changes or errors induced by translation, transmission, or alterations while under the control of others. Use of information contained in the electronic files is at the user's sole risk and without liability to Design Professional and its consultants. Refer to provided performance specifications for details on designer expectations of Fabricator and fabrication process. Copyright © Guide Studio, Inc. All rights reserved.	sheet
	pm E. Deutsch design M. Mytinger	AsiaTown Wayfinding Sign Program	Banners D1		12





MURAL TOUR

SCALE: 1/2" = 1'



DETAIL VIEW

date 04.22.2025

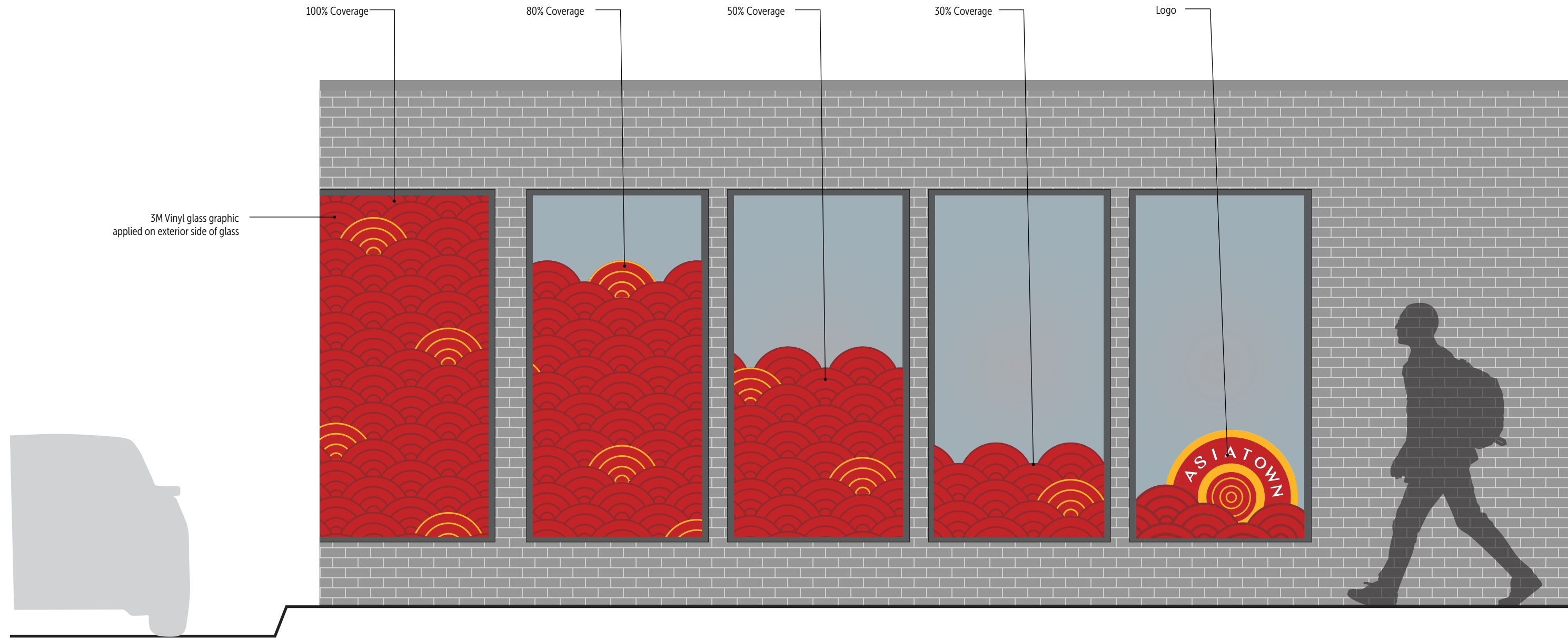
contact

project MID1866

phase Design Intent 60%

**NOT FOR CONSTRUCTION**  
These drawings and notes are for the sole purpose of expressing visual design intent and are not intended for actual fabrication purposes. Sign Contractor accepts total responsibility for final material selection, fabrication and installation methods. Electronic files are not construction documents and cannot be relied upon as identical to construction documents because of changes or errors induced by translation, transmission, or alterations while under the control of others. Use of information contained in the electronic files is at the user's sole risk and without liability to Design Professional and its consultants. Refer to provided performance specifications for details on designer expectations of Fabricator and fabrication process. Copyright © Guide Studio, Inc. All rights reserved.

sheet

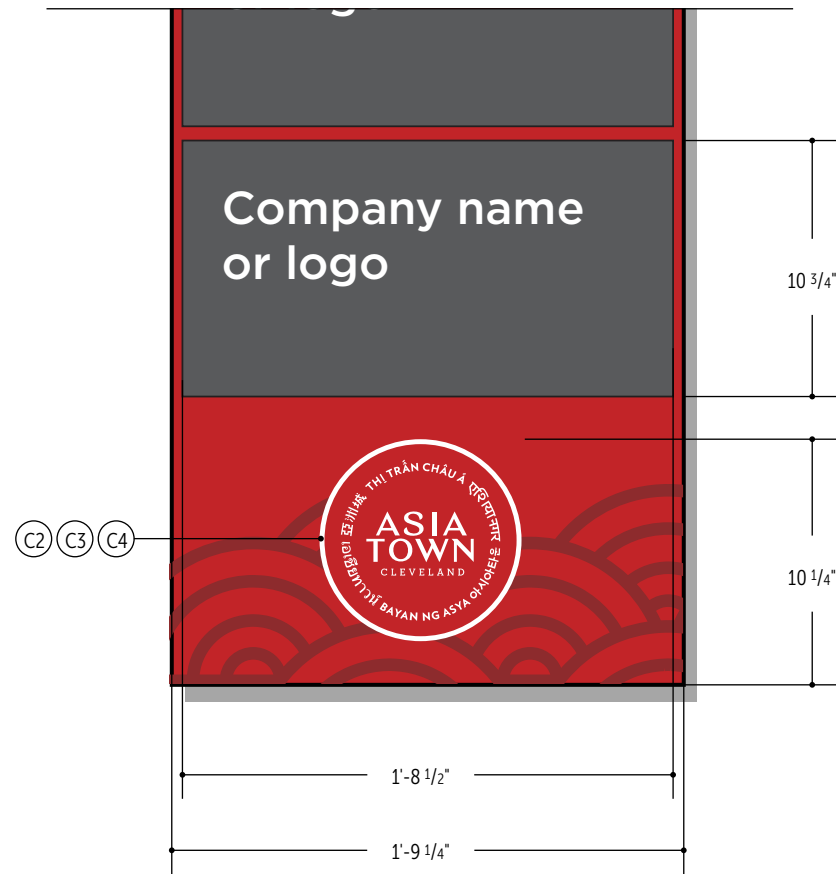


VINYL WINDOW GRAPHICS

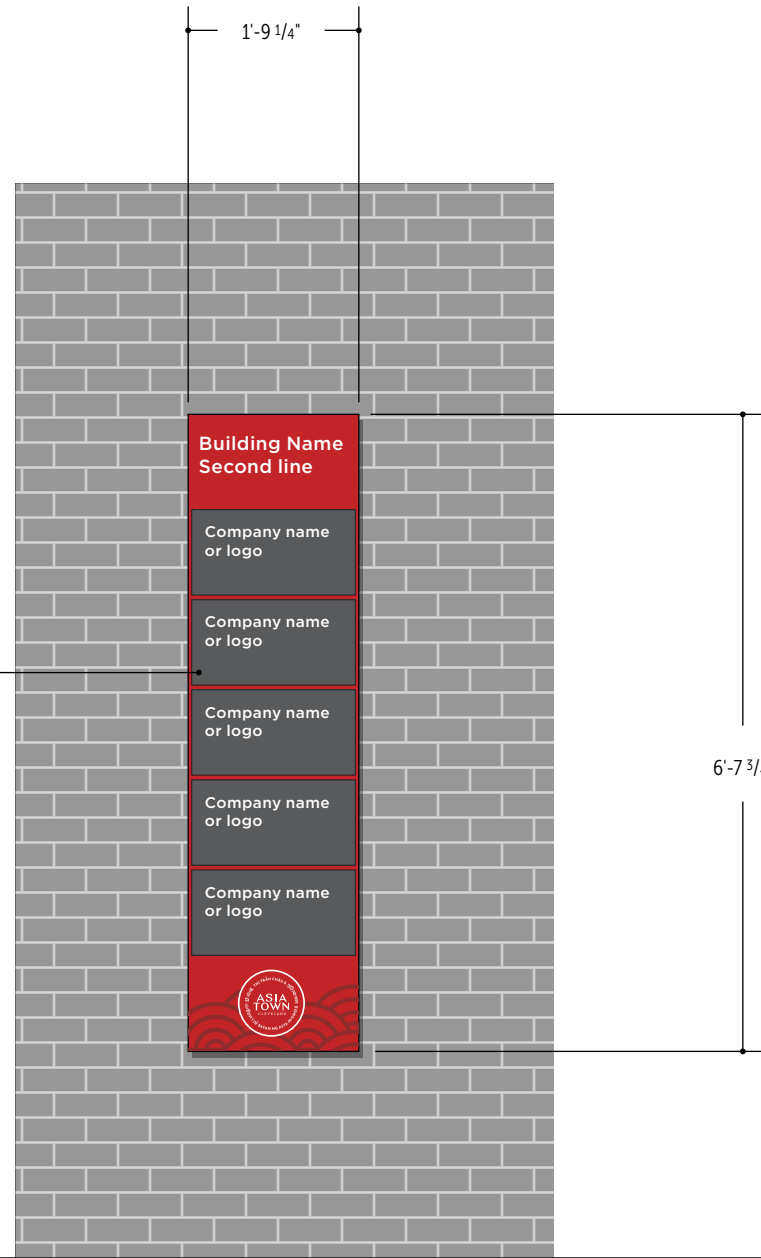
SCALE: 3/8" = 1'

<div>date</div> <div>04.22.2025</div>	<div>contact</div> <div> <div>pm</div> <div>E. Deutsch</div> </div> <div> <div>design</div> <div>M. Mytinger</div> </div>	<div>project</div> <div>MID1866</div> <div>AsiaTown</div> <div>Wayfinding Sign Program</div>	<div>phase</div> <div>Design Intent 60%</div> <div>Window Graphics</div> <div>L1</div>	<div>NOT FOR CONSTRUCTION</div> <div>           These drawings and notes are for the sole purpose of expressing visual design intent and are not intended for actual fabrication purposes. Sign Contractor accepts total responsibility for final material selection, fabrication and installation methods. Electronic files are not construction documents and cannot be relied upon as identical to construction documents because of changes or errors induced by translation, transmission, or alterations while under the control of others. Use of information contained in the electronic files is at the user's sole risk and without liability to Design Professional and its consultants. Refer to provided performance specifications for details on designer expectations of Fabricator and fabrication process. Copyright © Guide Studio, Inc. All rights reserved.         </div>	<div>sheet</div> <div>14</div>
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Changeable panels with vinyl letter  
adhered to back panel that  
is mechanically fastened  
to wall



SCALE: 1/2" = 1'  
BUILDING DIRECTORIES

date 04.22.2025

contact

project MID1866

phase Design Intent 60%

NOT FOR CONSTRUCTION

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sheet



SCALE: 1/4" = 1'



SCALE: 1/4" = 1'

<div>date04.22.2025</div> <div><div>Guide</div><div>guidestudio.com</div></div>	<div>contact</div> <div>pmE. Deutsch</div> <div>designM. Mytinger</div>	<div>projectMID1866</div> <div>AsiaTown</div> <div>Wayfinding Sign Program</div>	<div>phaseDesign Intent 60%</div> <div>Signage Family</div>	<div>NOT FOR CONSTRUCTION</div> <div>These drawings and notes are for the sole purpose of expressing visual design intent and are not intended for actual fabrication purposes. Sign Contractor accepts total responsibility for final material selection, fabrication and installation methods. Electronic files are not construction documents and cannot be relied upon as identical to construction documents because of changes or errors induced by translation, transmission, or alterations while under the control of others. Use of information contained in the electronic files is at the user's sole risk and without liability to Design Professional and its consultants. Refer to provided performance specifications for details on designer expectations of Fabricator and fabrication process. Copyright © Guide Studio, Inc. All rights reserved.</div>	<div>sheet</div> <div>16</div>
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date 04.22.2025

contact

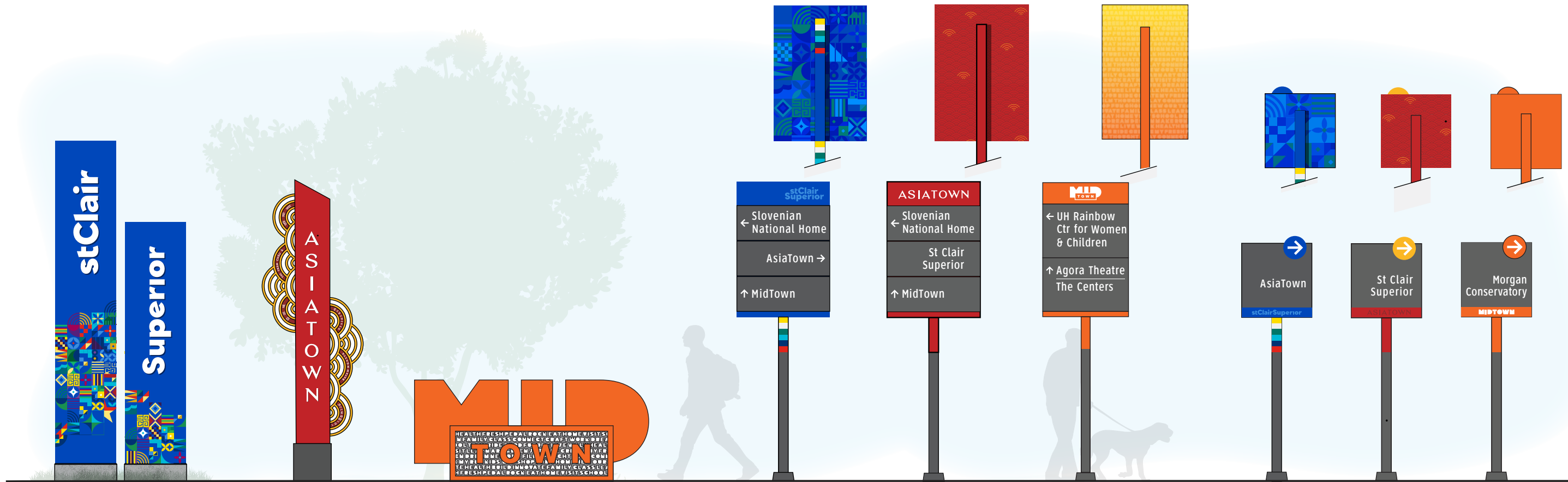
project MID1866

phase Design Intent 60%

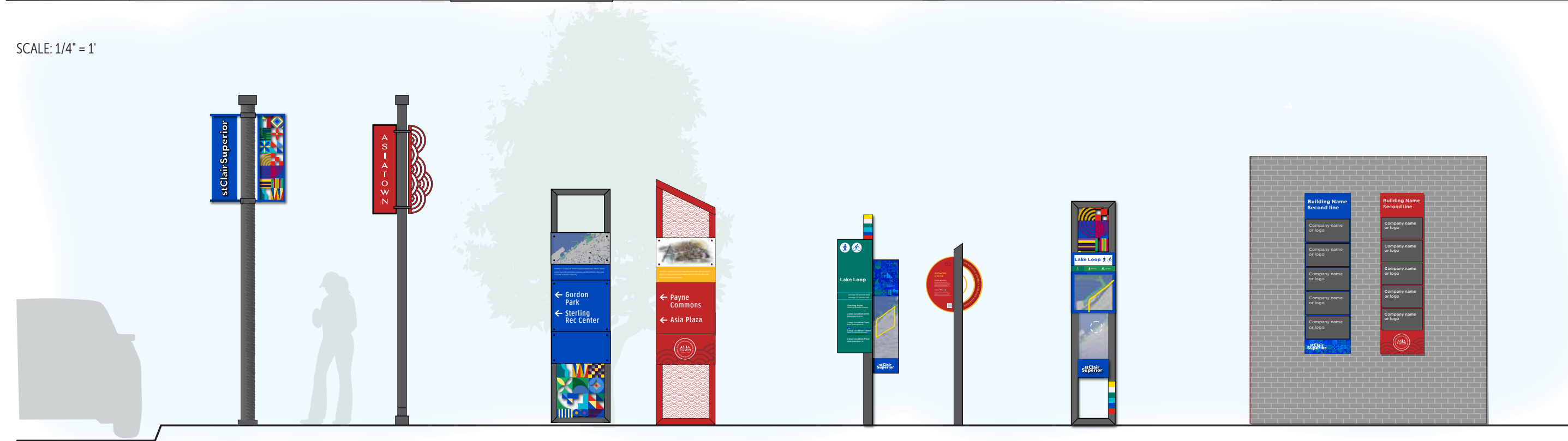
**NOT FOR CONSTRUCTION**  
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sheet





SCALE: 1/4" = 1'



SCALE: 1/4" = 1'

date 04.22.2025

contact

project MID1866

phase Design Intent 60%

NOT FOR CONSTRUCTION

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sheet

**Guide**  
guidestudio.com

pm E. Deutsch  
design M. Mytinger

**AsiaTown**  
Wayfinding Sign Program

**18**



# Cleveland City Planning Commission

## Staff Report

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

July 18, 2025

## **NE2025-018** – AsiaTown Wayfinding Sign Program

July 18, 2025

NEDRAC recommended final approval (with no conditions) on 7/15/25.

- Applicant to submit a sign location plan to staff for administrative review
-



# Cleveland City Planning Commission

## Far West Design Review

---



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

July 18, 2025

**FW2025-09** – Rocky River Drive Plaza

July 18, 2025

Project Address: 4622 Rocky River Drive

Type: New Construction

Project Representative: JP Ptacek, Larsen Architects

Approval: Conceptual

---

**Ward 17: Councilmember Slife**

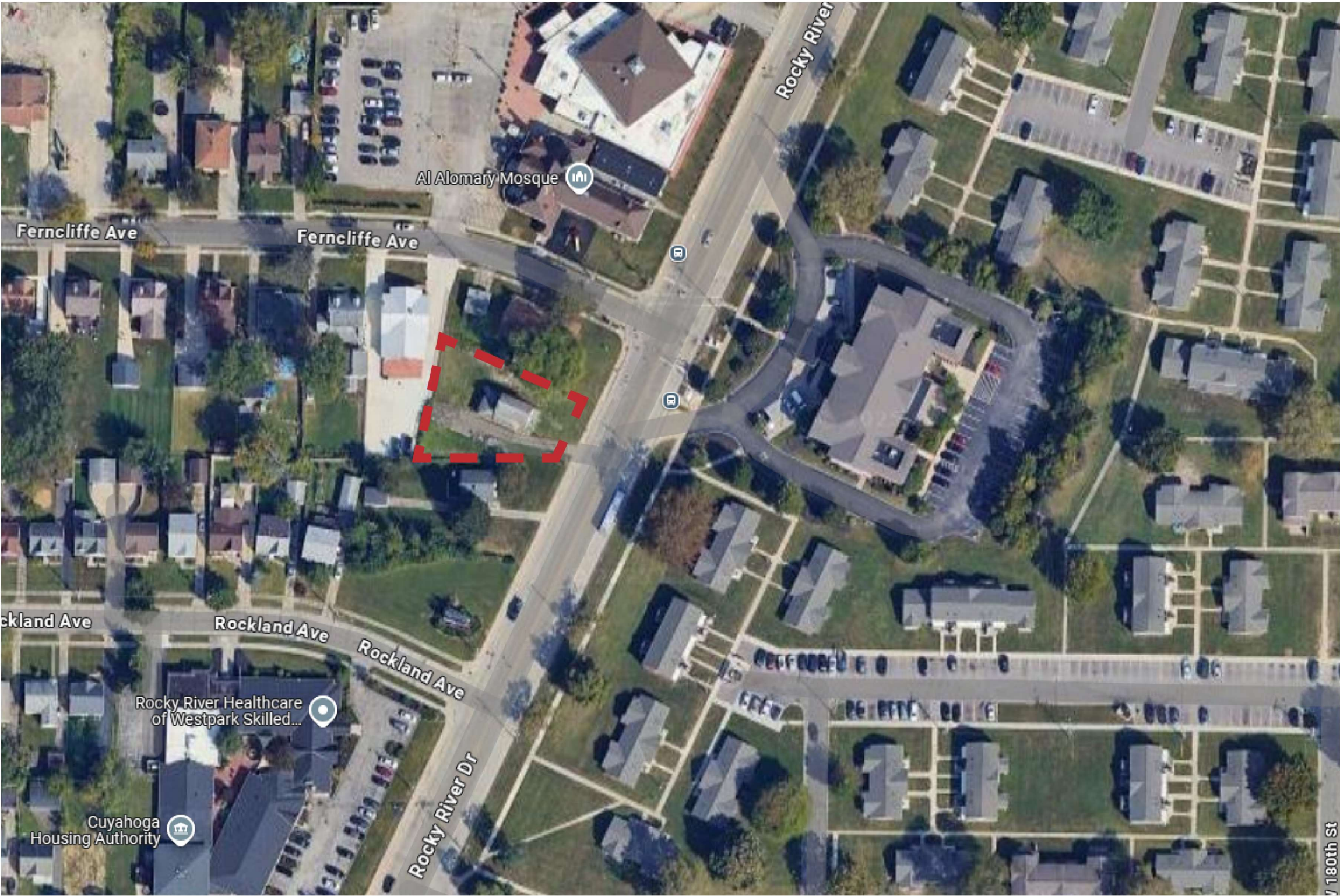
**SPA: Kamm's**

**CDC: West Park Kamm's**

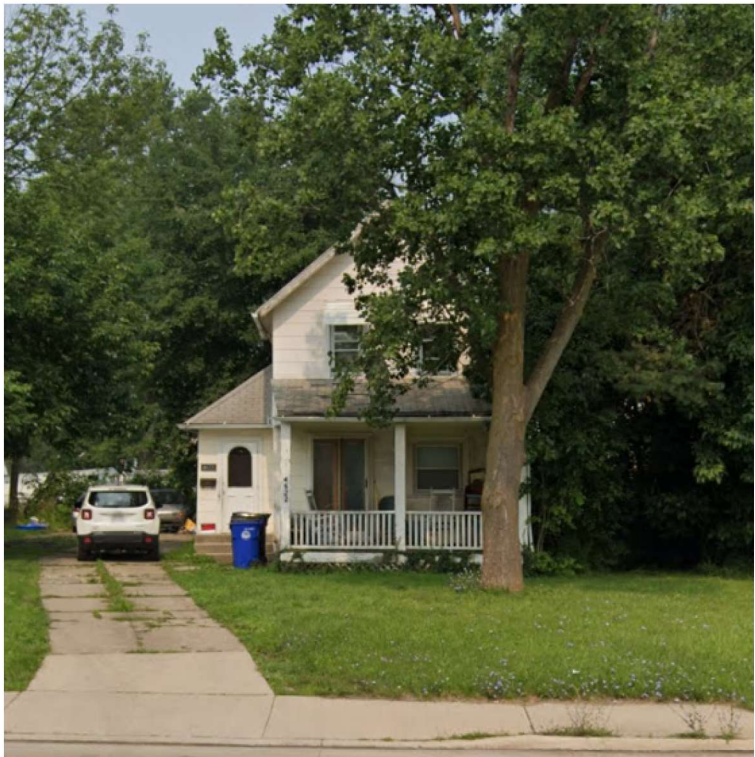


Proposed Plaza Building  
4622 Rocky River Drive

Project Number: 25041  
7/15/2025



Aerial Location Plan  
Scale: Not to scale



4622 Rocky River Drive

Parcel Number:	026-33-022
Owner:	Cleveland Muslim Community Center
Area District:	B
Height District:	1
Use District:	Two Family
Zone Code:	2F-B1
Review District:	Kamms Corners Expansion
Ward:	17
Lot Size:	.232 Acres

Currently site contains a two-story wood and aluminum sided single family home. The structure is proposed to be razed and replaced with 2,987sf masonry retail building.



Proposed Plaza Building  
4622 Rocky River Drive

Project Number: 25041  
7/15/2025



18244 Ferncliffe Avenue



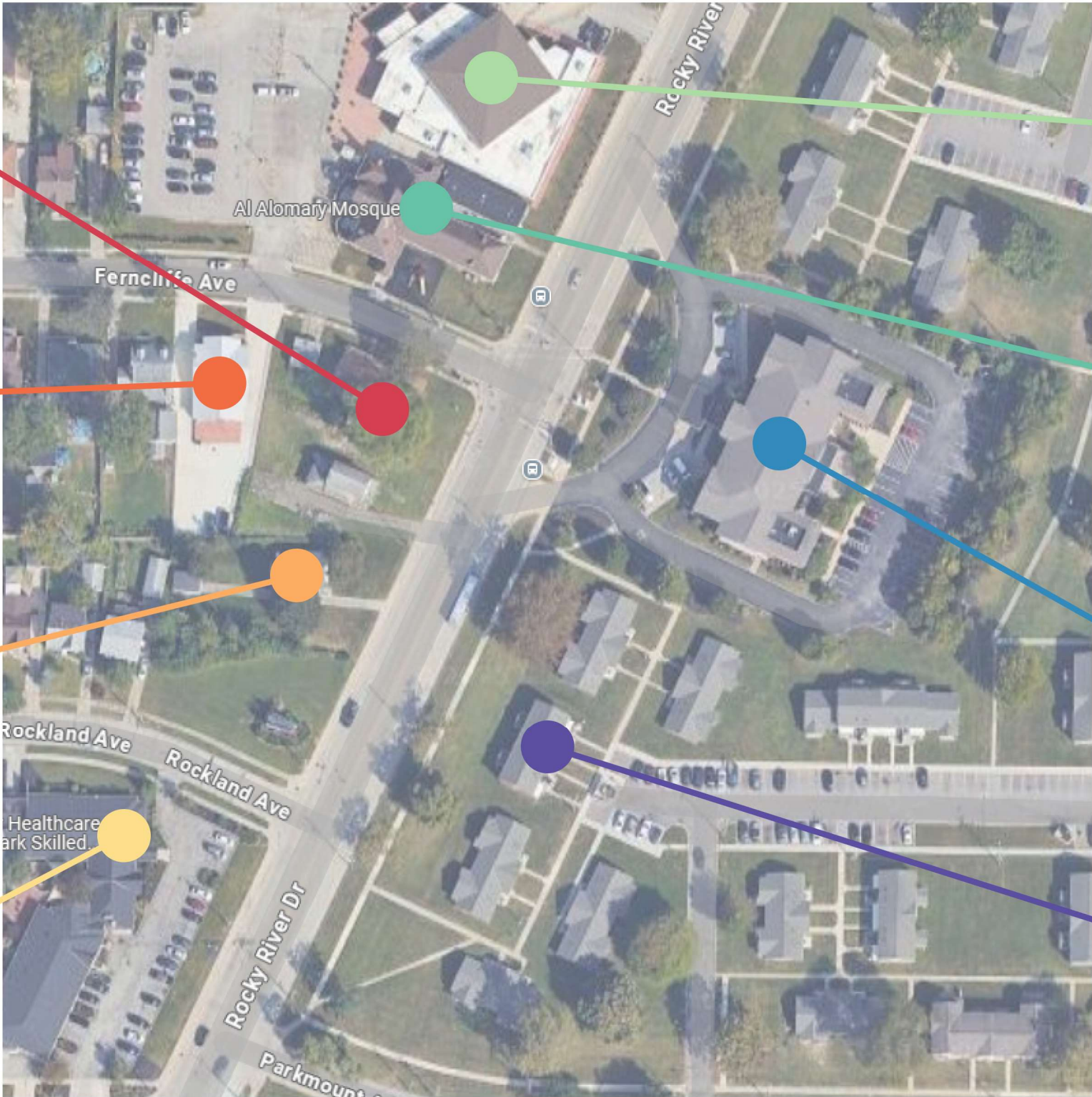
18301 Ferncliffe Avenue



4626 Rocky River Drive



4650 Rocky River Drive



4600 Rocky River Drive



4600 Rocky River Drive



4609 Rocky River Drive



4650 Rocky River Drive

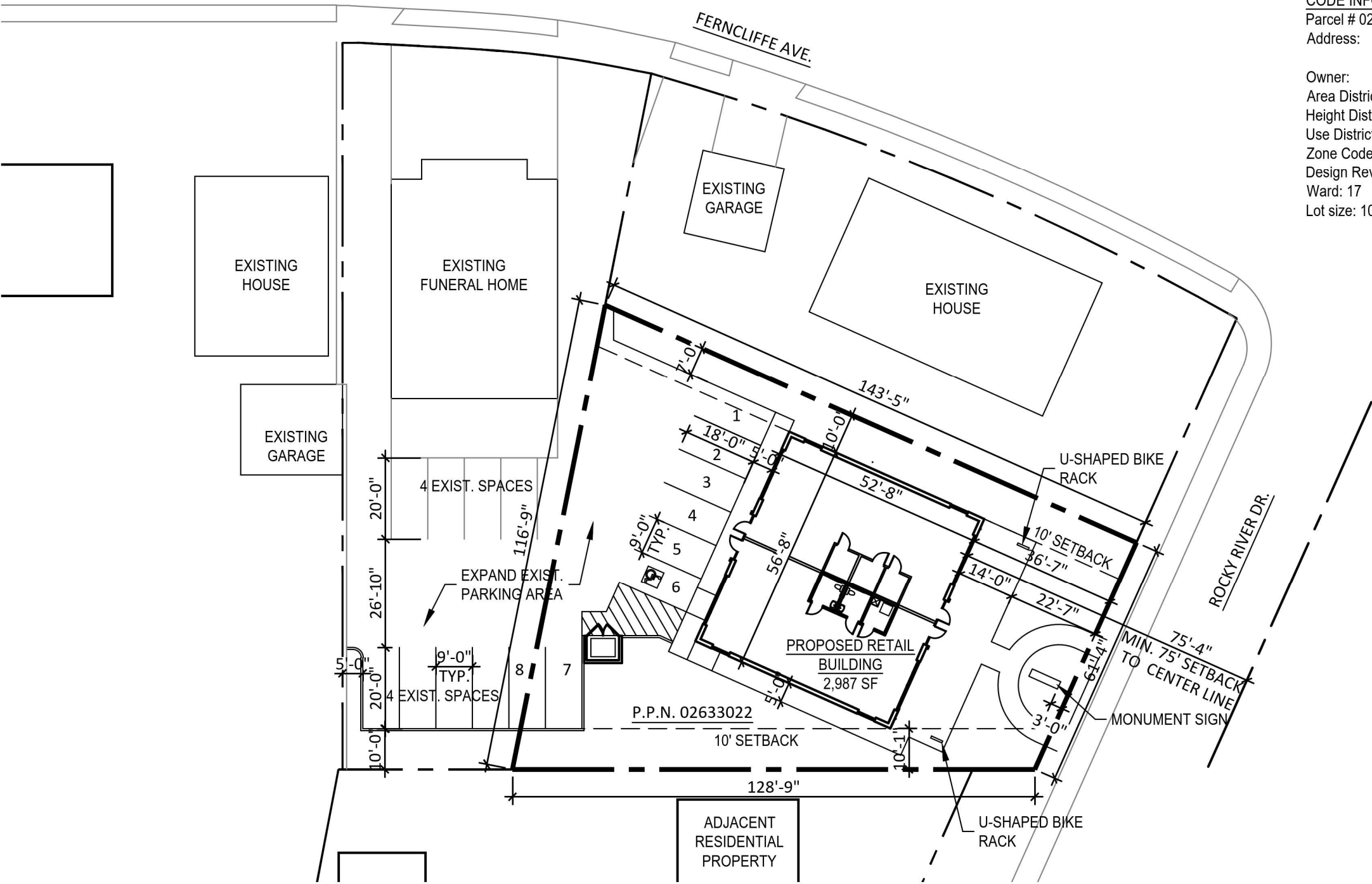




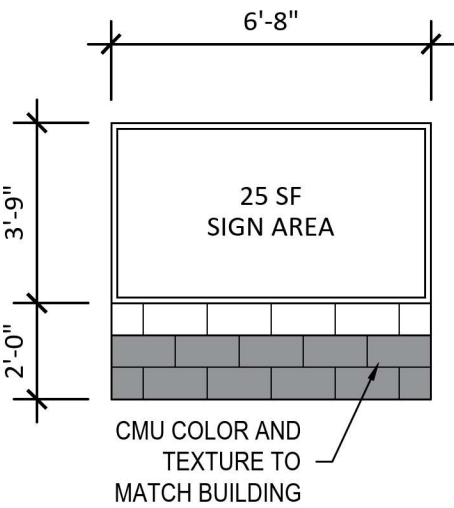
1 AERIAL SITE PLAN WITH PROPOSED DEMOLITION  
SCALE: 1" = 30'







CODE INFO:  
Parcel # 02633022  
Address: 4622 Rocky River Dr.  
Cleveland, OH, 44135  
Owner: Cleveland Muslim Community Center  
Area District : B  
Height District: 1  
Use District: Two Family  
Zone Code: 2F-B1  
Design Review District: Kamms Corners Expansion  
Ward: 17  
Lot size: 10,108 SF (.232 Acres)



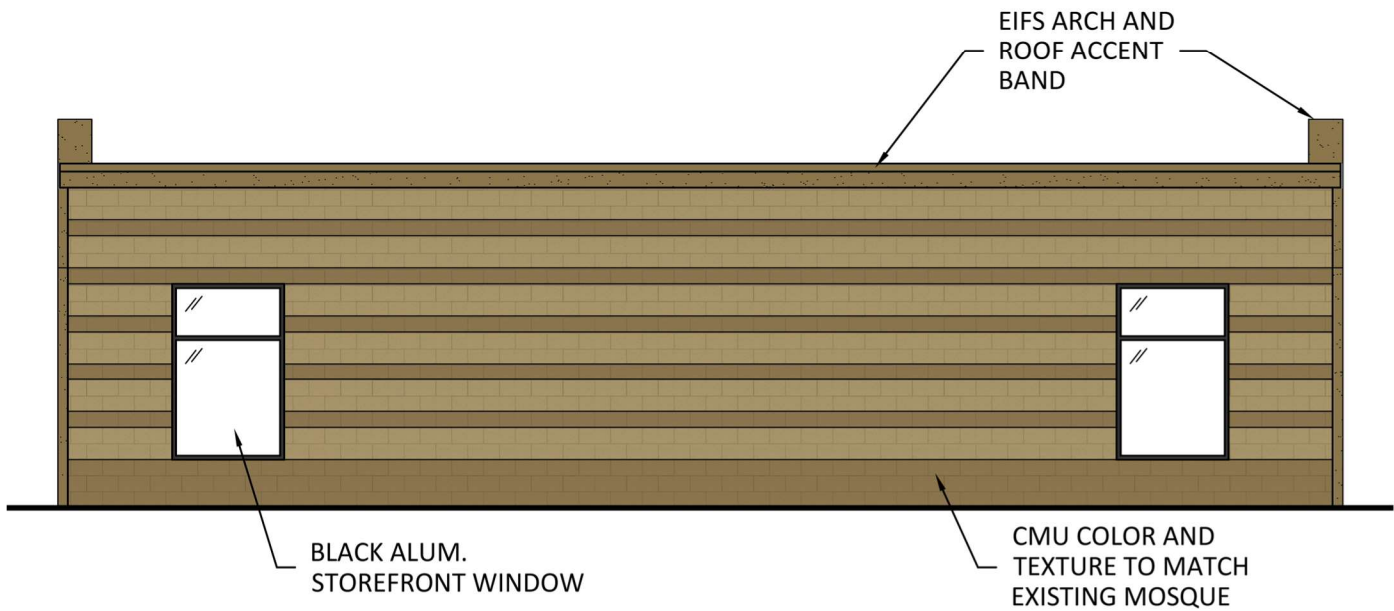
1 SITE PLAN  
SCALE: 1" = 30'

2 MONUMENT SIGN ELEVATION  
SCALE: 1/4" = 1'-0"

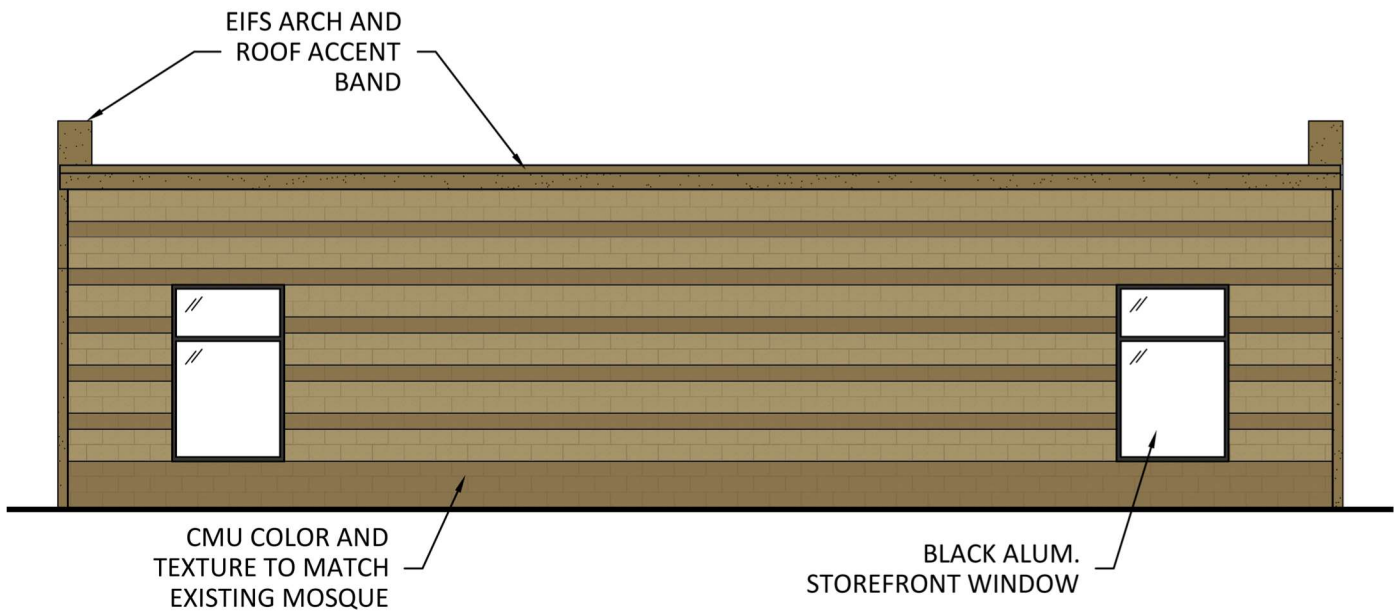




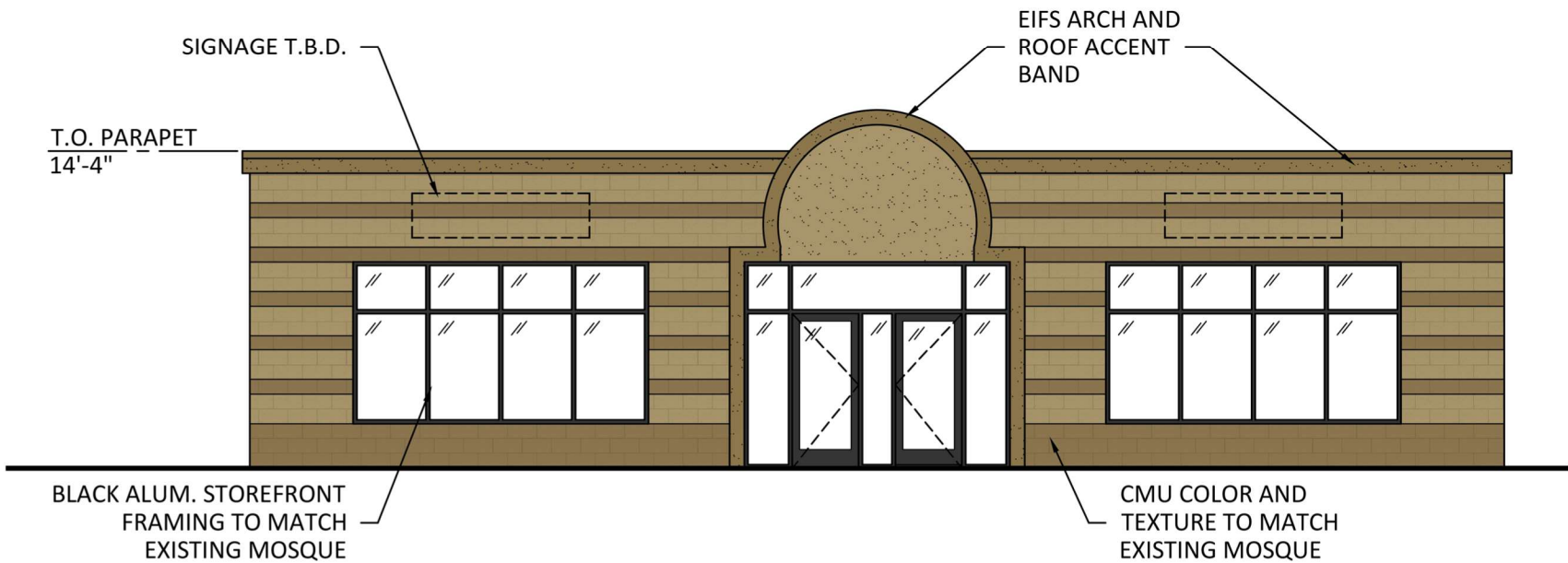




4 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



# Cleveland City Planning Commission

## Staff Report

---



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

July 18, 2025

## **FW2025-09** – Rocky River Drive Plaza

July 18, 2025

FWDRAC recommended conceptual approval with conditions on 7/2/25:

- Remove as much impervious surface as possible to soften site
  - Landscaping plan with emphasis for screening adjacent residential needed at schematic
  - Full photometric plan needed for parking lot and building
  - Strong consideration should be given to flipping or matching east/west elevations to increase storefront glazing
-



# Cleveland City Planning Commission

## Euclid Corridor Buckeye Design Review

---



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

July 18, 2025

**EC2025-002** – Warner & Swasey

July 18, 2025

Project Address: 5701 Carnegie Avenue

Type: Renovation – Mixed Use

Project Representative: Nicholas Slaughterbeck, Moody Nolan

Approval: Final

---

**Ward 5: Council Member Starr**

**SPA: Central**

**CDCs: Midtown Cleveland &  
Burton, Bell, Carr Dev. Corp**





# Warner & Swasey

5701 Carnegie Ave

07.17.2025

Final Design Review



Moody Nolan

**PENNROSE**

Bricks & Mortar | Heart & Soul

# Written Project Statement

## Warner & Swasey – 5701 Carnegie Ave

The Warner & Swasey building is a 5-story red brick building, L-shaped in plan, that wraps around a 1-story structure comprised of four shed roofs. Each floor plate is about 32,000SF. The buildings were constructed between 1905-1918. The site has been vacant since the manufacturing company left the facility in 1985.

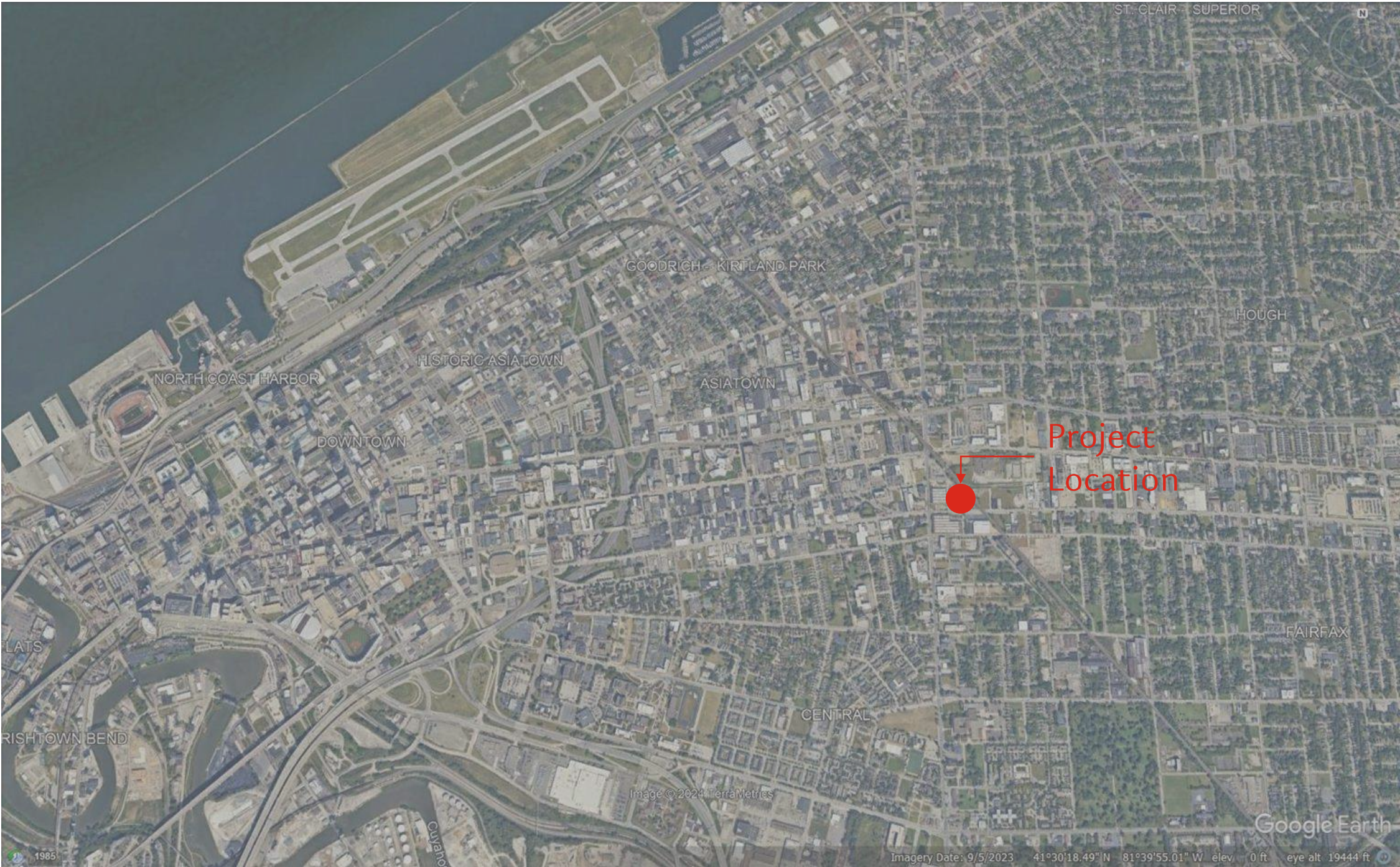
The project will include approximately 112 residential units split into 2 condos; WSI is 56 units of Senior Housing on floors 2 and 3, WSII is 56 units of Family Housing on floors 4 and 5. The units will be housed within a completely renovated shell and structure. The site can accommodate approximately 74 surface parking spaces will be located in the former location of the shed structures. Total construction cost is around \$52M. The renovation will include exterior masonry restoration, window and roof replacement, MEP/T systems, new elevators and new interior upgrades. The project has been awarded 9% Low Income Housing Tax Credits for both WSI and WSII as well as Federal and State Historic Tax Credits.





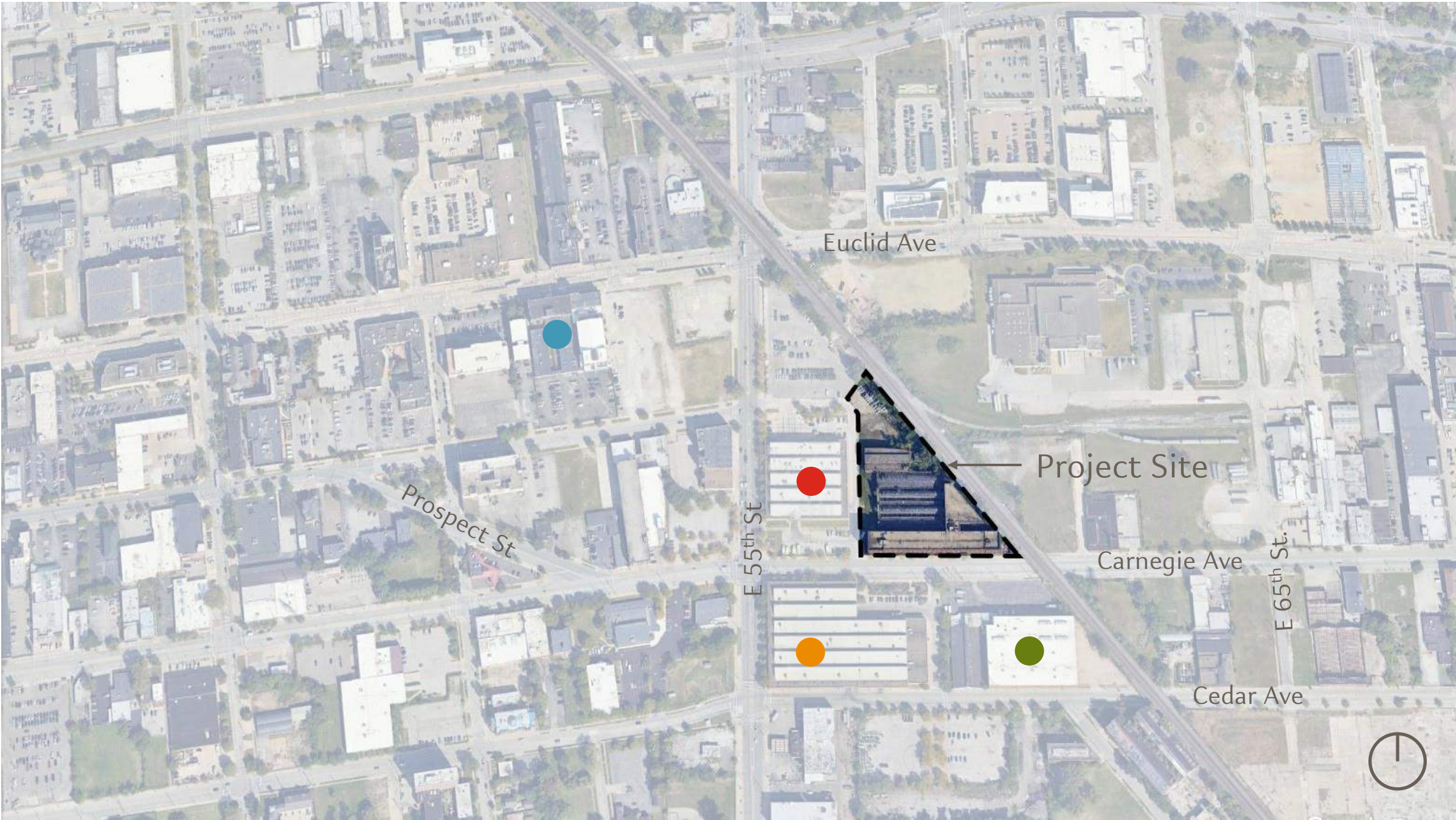


# Project Location





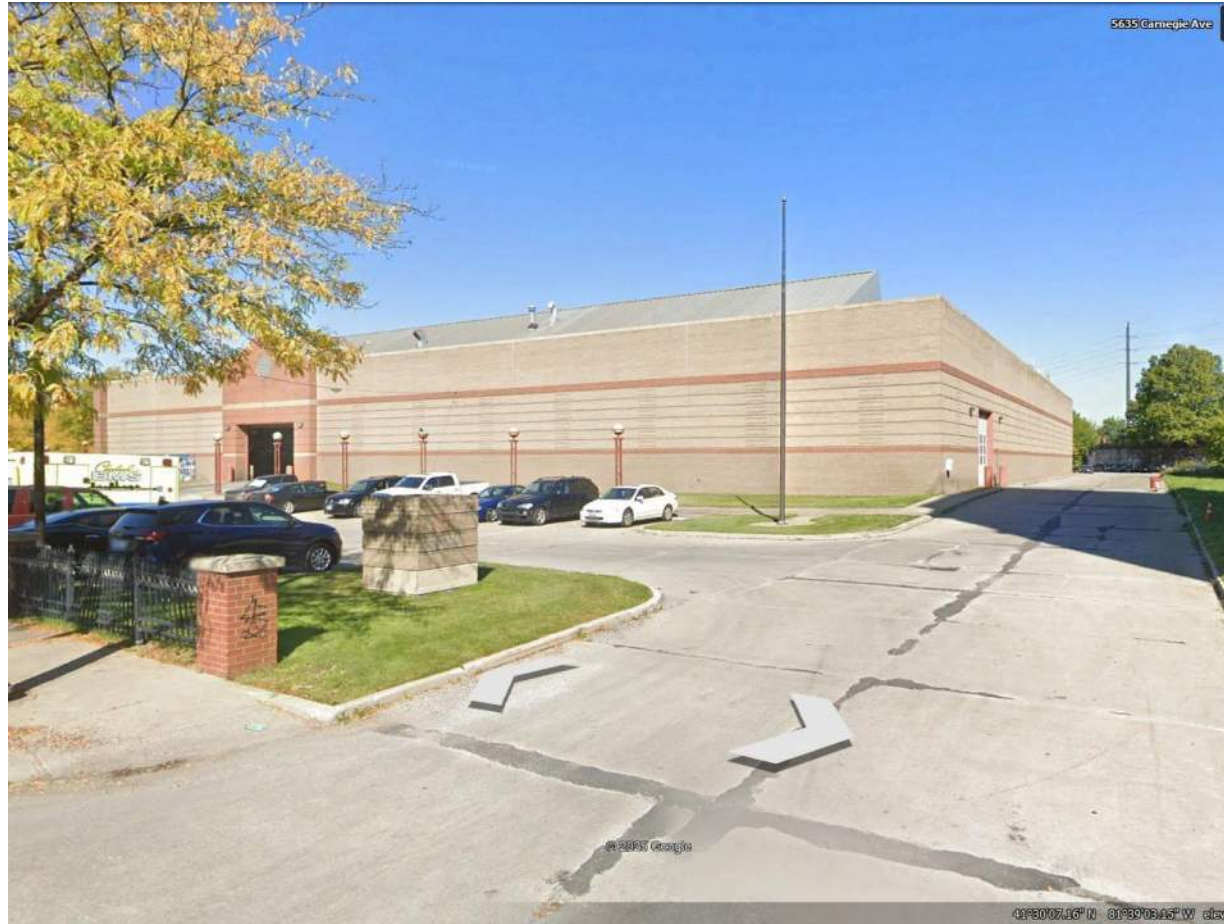
# Project Location



- Cleveland Equipment Service Station
- City of Cleveland Building – Waste Management
- Self Storage Building
- Agora Theater



# Context Photos



Equipment Service Station - West



City of Cleveland Building – Waste Management - Southwest



# Context Photos



Self Storage Building - Southeast





## Existing Condition Photos



View Looking West



View Looking East



## Existing Condition Photos



Existing Sawtooth Structure (To be Demolished)



# Historic Image







# Demolition





# Site Plan





Auto Sprinkler

Bus Stop

EXISTING TREES ALONG CARNE







Autumn Brilliance  
Serviceberry



American Hophornbeam



Dark Green Arborvitae



Princeton Elm



Ground Hug Chokeberry



Sixteen Candles  
Summersweet



Invincibelle Limetta  
Hydrangea



Grey Owl Juniper



Everlow Yew



Threadleaf Blue Star



Standing Ovation Little  
Bluestem



Happy Returns Daylily



Black Eyed Susan

## Plant List



## Site Lighting Plan



**A** Parking Lot Lighting  
McGraw Edison Galleon II

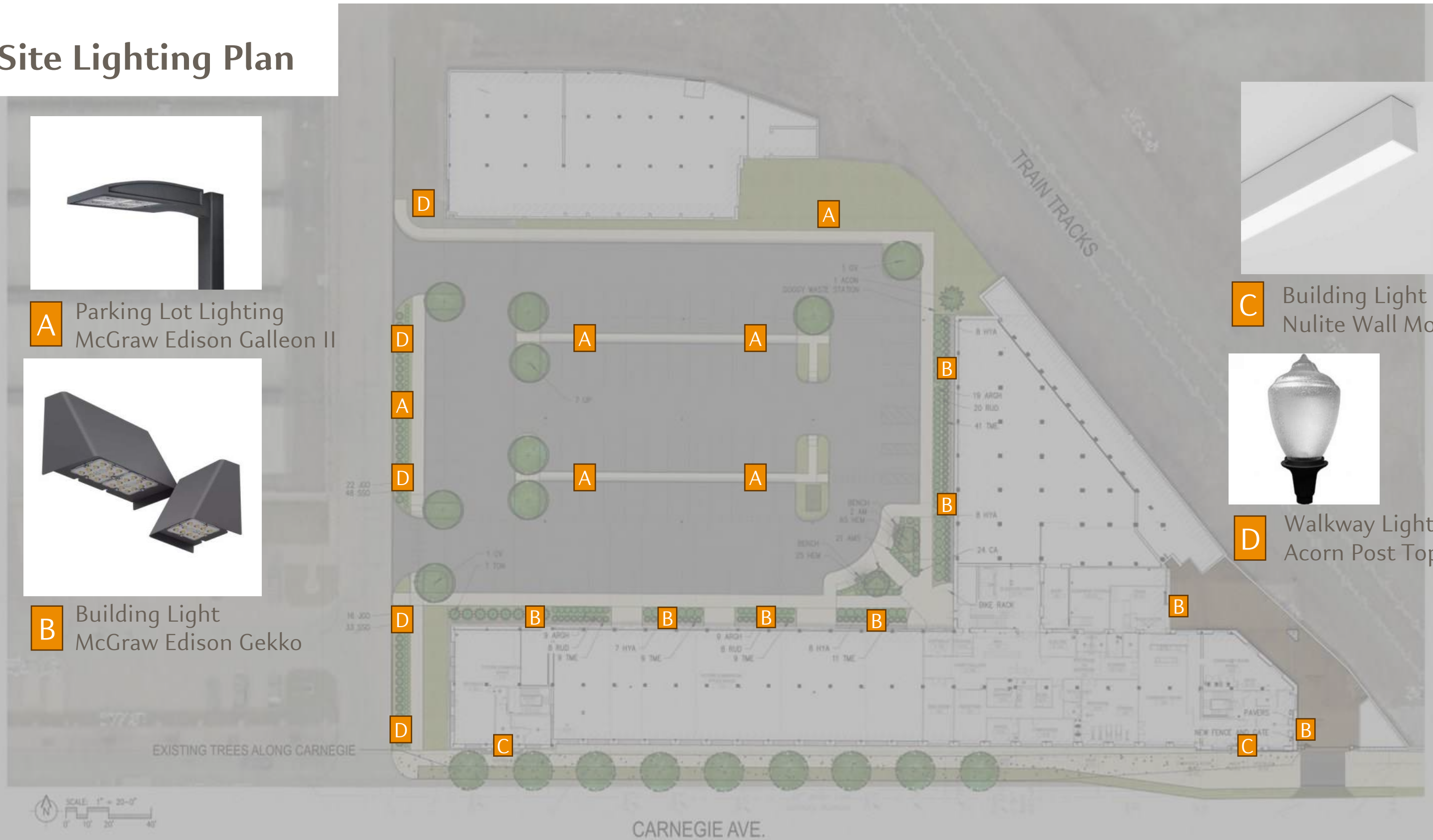


**B** Building Light  
McGraw Edison Gekko

**C** Building Light  
Nulite Wall Mount



**D** Walkway Light  
Acorn Post Top





# Existing Building





# Proposed View



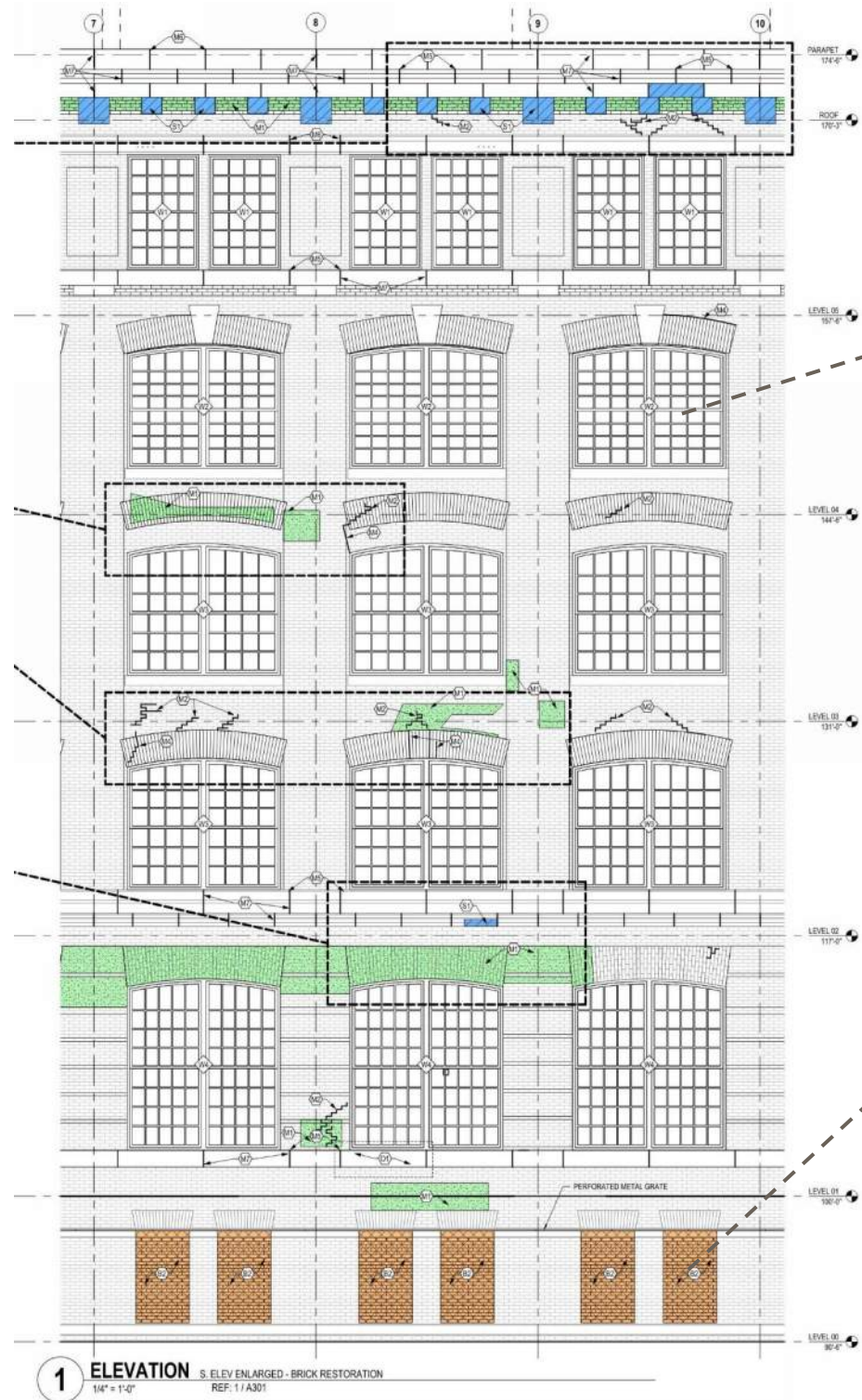


# Proposed Resident Entry

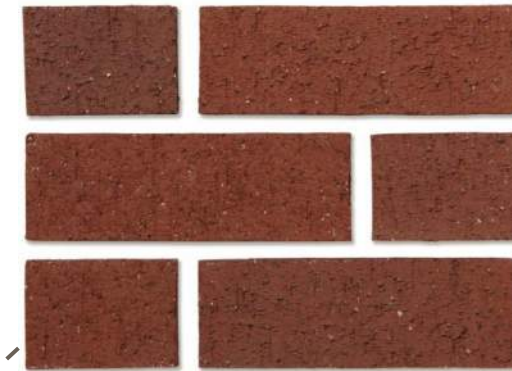




## Exterior Materials

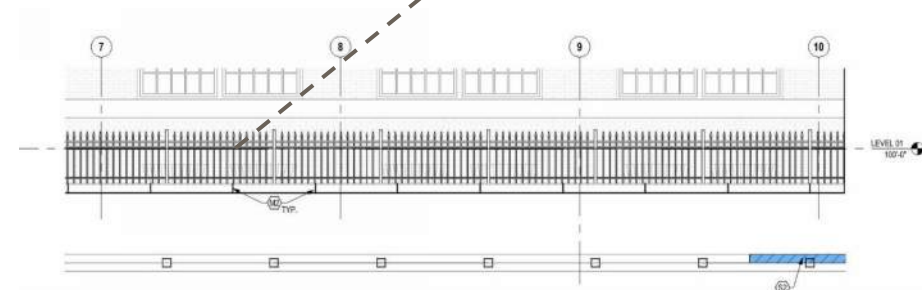


Aluminum Windows  
Quaker H650 Single Hung  
Dark Bronze



New Brick Infill  
(Match Existing color, inset ½")  
BOD: Mutual Materials Inca Mission

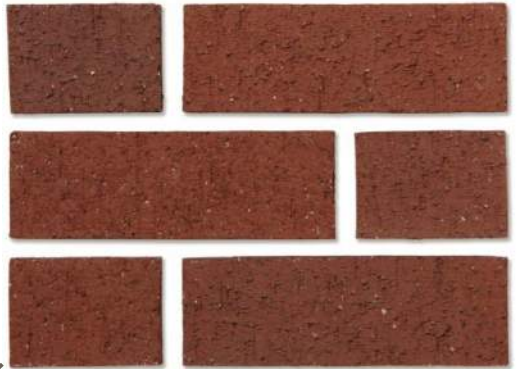
• New Aluminum Railing  
BOD: Superior Aluminum  
Railings Series 7



# Exterior Materials



Aluminum Windows and Storefront  
Quaker H650 Single Hung  
Dark Bronze



New Brick  
(Match Existing color and size)  
BOD: Mutual Materials Inca Mission



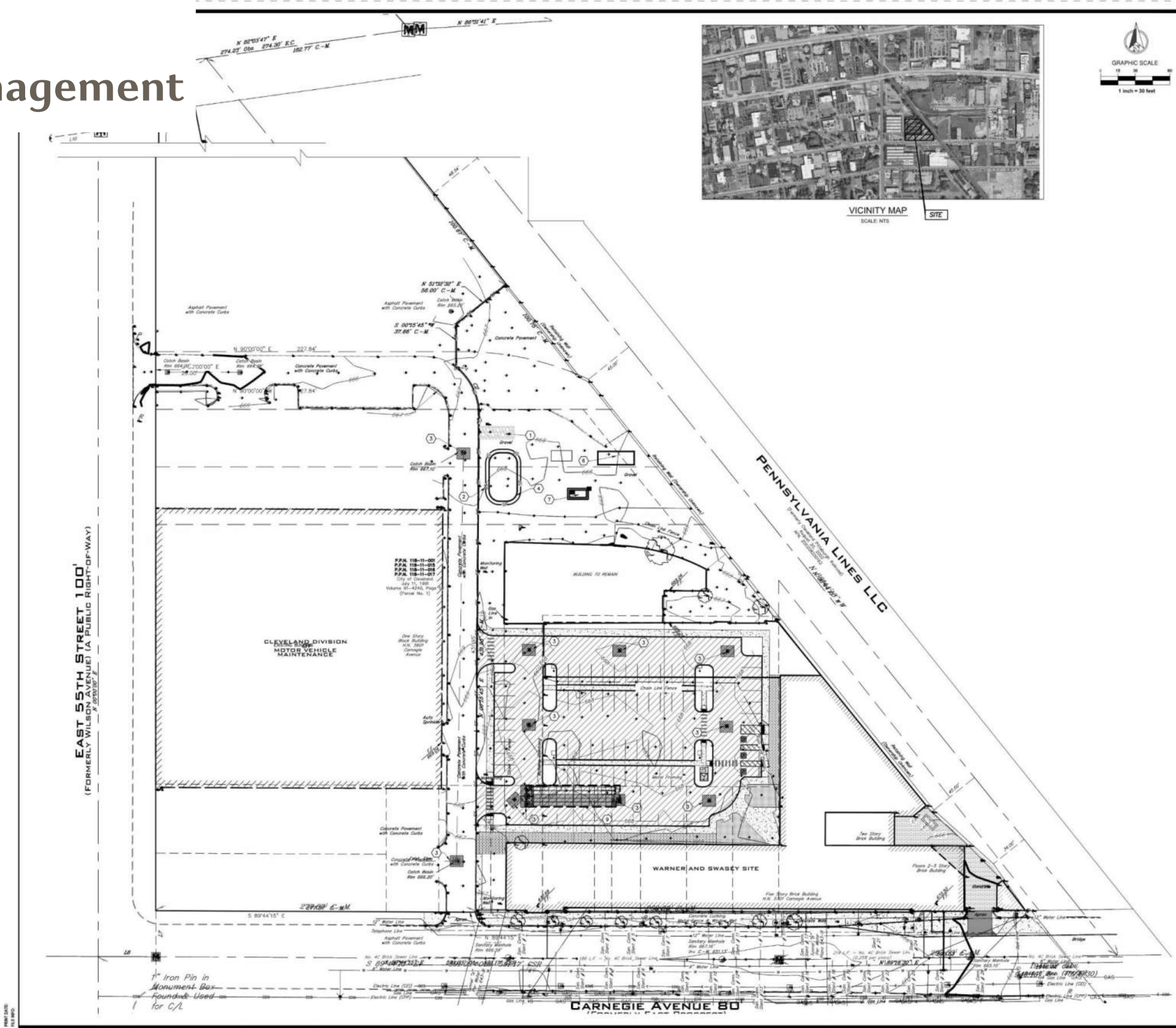
Cast Stone Sills and Header  
(Match Existing color and size)



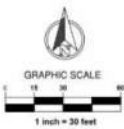
Exterior Column Cladding  
Porcelain Panels  
BOD: Crossville Calce Grigio



# Stormwater Management



VICINITY MAP  
SCALE: NTS



## SHEET LEGEND

- PHASE LIMITS OF WORK AND LIMITS OF EARTH DISTURBED AREA
- DRAINAGE AREA
- DIRECTION OF SURFACE WATER FLOW
- SILT FENCE
- DANDY BAG INLET/WH PROTECTION
- ROCK CONSTRUCTION ENTRANCE (LOCATION TO BE DETERMINED BY CONTRACTOR TO MEET NEEDS)
- EQUIPMENT/VEHICLE FUELING AND MAINTENANCE AREA (LOCATION TO BE DETERMINED BY CONTRACTOR TO MEET NEEDS)
- CONCRETE WASHOUT PIT
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION

## CODED NOTES

- NOTE: LOCATIONS OF THE FOLLOWING ITEMS MAY BE ADJUSTED TO MEET FIELD CONDITIONS AS DETERMINED BY CONTRACTOR TO MEET NEEDS:
- 1. ROCK CONSTRUCTION ENTRANCE
  - 2. FILTER SOCK
  - 3. INLET PROTECTION
  - 4. DESIGNATED STOCKPILE AREA
  - 5. DESIGNATED VEHICLE FUELING AREA
  - 6. DESIGNATED AREA FOR STORAGE OR DISPOSAL OF SOLID, SANITARY, AND TOXIC WASTE, INCLUDING DUMPSTER AREA
  - 7. CONCRETE WASHOUT PIT
  - 8. CURB INLET SEDIMENT PROTECTION
  - 9. STORMTECH UNDERGROUND DETENTION SYSTEM

## SHEET NOTES

- ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DISCRETION OF THE CITY OF CLEVELAND AND/OR THE OHIO EPA.
- THIS PLAN MUST BE POSTED ON-SITE. A COPY OF THE SWPPP AND THE APPROVED PERMIT SHALL BE KEPT ON-SITE AT ALL TIMES.
- STREET CLEANING (ON AN AS-NEEDED BASIS) IS REQUIRED THROUGH THE DURATION OF THIS CONSTRUCTION PROJECT. THIS INCLUDES SWEEPING, POWER CLEANING, AND (IF NECESSARY) MANUAL REMOVAL OF DIRT OR MUD IN THE STREET GUTTERS.

#	DATE	CHANGE DESCRIPTION

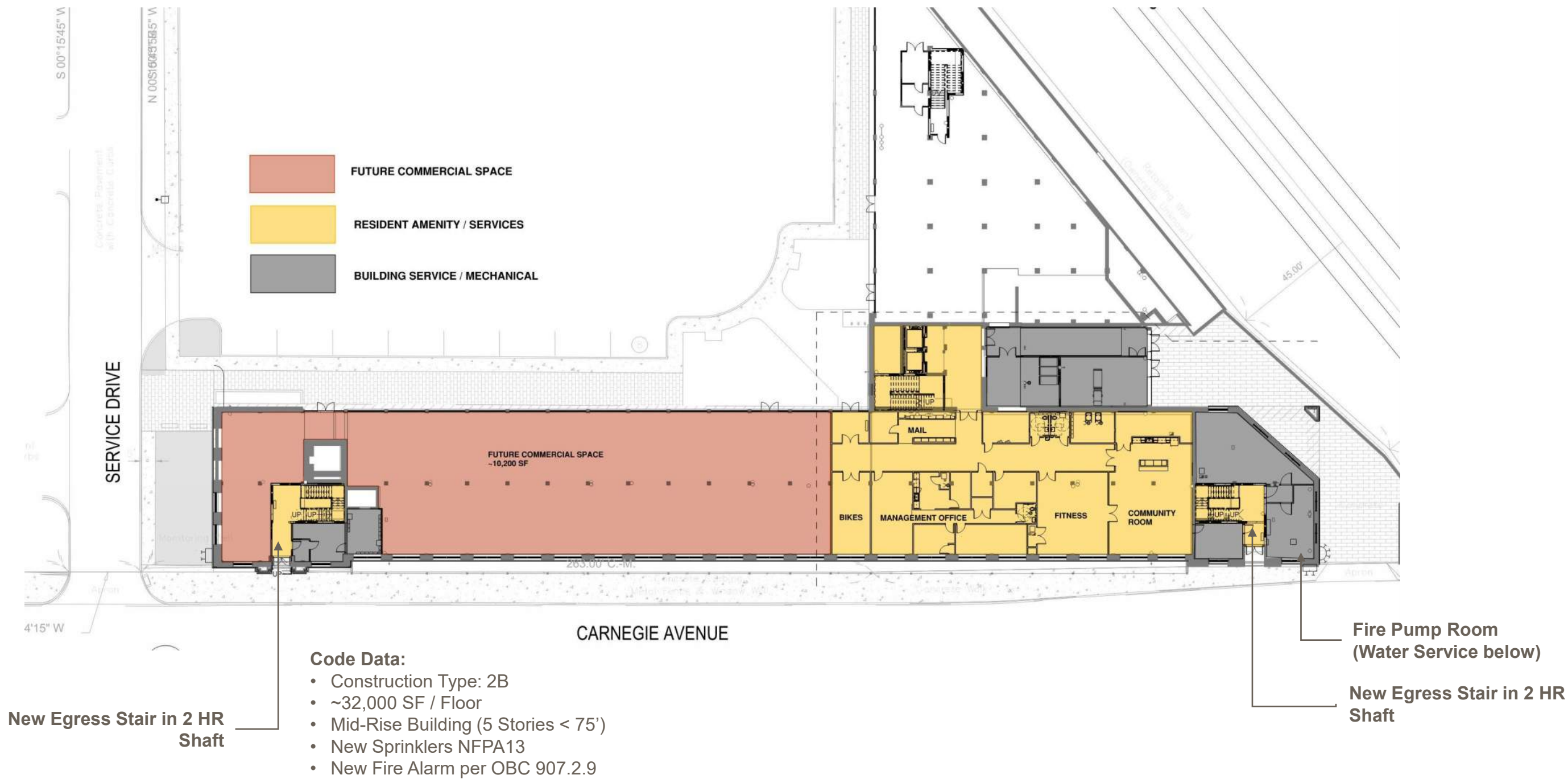
**WARNER & SWASEY REDEVELOPMENT**  
 1001 CLEVELAND AVENUE, CLEVELAND, OH 44115  
 FOR PENNROSE

**MOODY ENGINEERING**  
 300 SPRUCE STREET SUITE 200  
 COLUMBUS, OHIO 43215  
 P: 614 280 8999  
 MOODY-ENG.COM

## STORM WATER POLLUTION PREVENTION PLAN

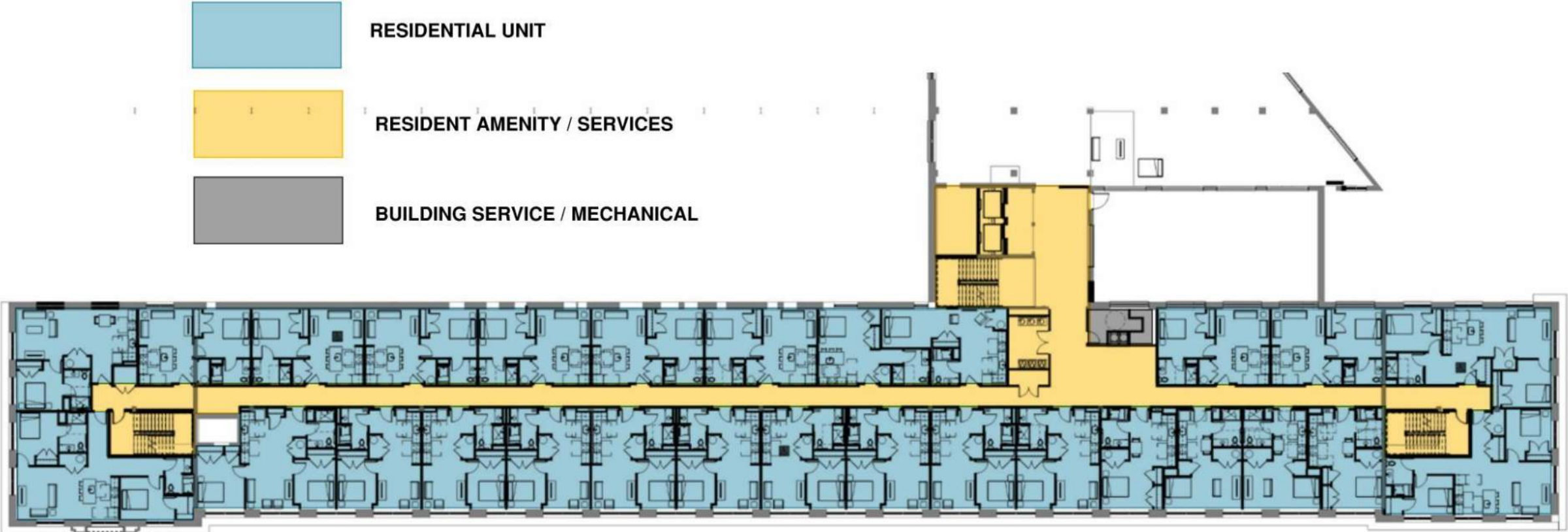
03/28/2025  
 DRAWN BY: GB  
 CHECKED BY: 18114  
**C800**  
 PERMIT SET

# Building Entry





# Typical Unit Level





# Building Rendering







**Moody Nolan**

300 Spruce Street, Suite 300  
Columbus, OH 43215

Atlanta, GA

Boston, MA

Chicago, IL

Cincinnati, OH

Cleveland, OH

Columbus, OH

Dallas, TX

Houston, TX

Nashville, TN

New York, NY

Philadelphia, PA

Washington, DC







# H650

HISTORICAL ALUMINUM SERIES

Single Hung | Fixed | Fixed Simulated Hung



Product Material  
**Aluminum**



Frame Depth  
**4 1/8"**



Rating  
Single Hung: up to AW75  
Fixed: up to AW90

Temple Detroit Hotel  
(formerly Standard Insurance Bldg.)  
Detroit, MI  
Developers: Temple Group Holdings  
Architect: McIntosh Poris Associates  
Contractor: Rockford Const. Co.  
Dealer: Blackberry Systems



Design Pressure  
Single Hung: up to 75  
Fixed: up to 90



U-Value\*  
Single Hung: .28 - .43  
Fixed: .22 - .43



Air Infiltration  
Single Hung: <0.30  
Fixed: <0.10



SHGC\*  
Single Hung: .15 - .32  
Fixed: .16 - .36



Water Resistance  
Single Hung: 12  
Fixed: up to 15



CR\*  
Single Hung: 42-60  
Fixed: 44 - 70



OITC<sup>x</sup>  
Single Hung: 24-31  
Fixed:



STC<sup>x</sup>  
Single Hung: 31-35  
Fixed:

\*-Ranges based on multiple Low-E/Argon I.G. combinations

<sup>x</sup>-Ranges based on multiple I.G. combinations

## FEATURES:

- ▶ Historically-correct bevel exterior frame
- ▶ Architectural grade aluminum frame
- ▶ Thermally-broken frame and sash with pour-and-debridge technology
- ▶ No fin main frame for retro-fit purposes
- ▶ Alternative model with Nail fin (H655 Series)
- ▶ 1" insulating glass
- ▶ Heavy-duty Class 5 balancers
- ▶ Auto lock sill
- ▶ Standard High-Performance 2604 Powder Paint Finish (an FGIA Specification)
- ▶ Optional Upgrade to 2605 Powder Paint Finish (an FGIA Specification)
- ▶ 30+ "Quick-Pick" colors, with unlimited custom colors available

#Thermal test numbers shown are projected. Official testing in progress as of October, 2023

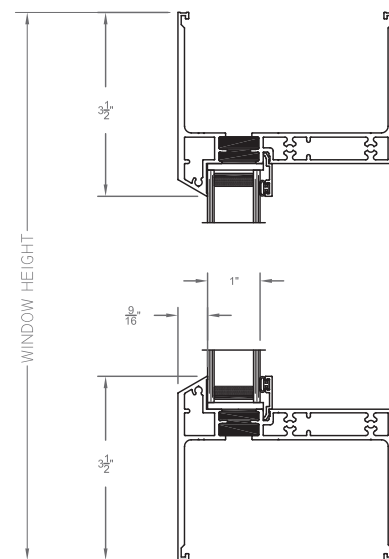
[www.QuakerCommercialWindows.com](http://www.QuakerCommercialWindows.com)

Information listed is deemed accurate as of date shown. Quaker Windows reserves the right to change or discontinue any product, feature or option without notice.

March, 2025 V10



## Fixed



**The Lofts at Centennial Yards**  
(formerly Southern Railways Building)  
Atlanta, GA  
Developers: CIM Group  
Architect: Surber Barber Choate + Hertlein  
Contractor: Whiting Turner Contracting  
Dealer: LJW Sales



**Commercial@quakerwindows.com**

Made in America: All Quaker products are designed and manufactured in the United States at our state-of-the-art facilities in Freeburg, MO and Eldon, MO.



## Porcelain Tile Panels – Calce

### Calce – 3+ Porcelain Tile Panels

Neutral colors and delicate nuances mark the face of Calce, a line inspired by wet plaster and concrete. The combination results in a soft, chalky visual that is both sophisticated and thoroughly contemporary.



Bianco - F6385 - 3+ (Walls) - **Stocking**



Avorio - F6372 - 3+ (Walls) - **Stocking**



Grigio - F6376 - 3+ (Walls) - **Stocking**



Tortora - F6382 - 3+ (Walls) - **Stocking**



Antracite - F6373 - 3+ (Walls)- **Stocking**



Nero - F6379 - 3+ (Walls) - **Stocking**

**Note!** These samples depict base color and sheen. Please refer to our website for a more accurate depiction of veining and pattern.

\*See chart on the next page for further information

# Porcelain Tile Panels – Calce

## Specifications

### Laminam 1 meter x 3 meter sheets\*

	LAMINAM 5.6
Piece	32.29 sq. ft./piece
Crate	13 pc./crate
Sq. ft./crate	419.77 sq. ft./crate
Lbs./piece	93.96 lbs./piece
Lbs./crate	1,422 lbs./crate (includes crate weight)
Sq. ft. minimum order	32.29 sq. ft.

\* Laminam arrives in oversized A-frames. These A-frames require proper receiving and handling equipment. Check with Crossville customer service for details (931-484-2110).  
 Please refer to the Laminam technical guide online for receiving and handling information at [CrossvilleInc.com](http://CrossvilleInc.com).

## Product Features & Benefits

Neutral colors and delicate nuances mark the face of Calce, a line inspired by wet plaster and concrete. The combination results in a soft, chalky visual that is both sophisticated and thoroughly contemporary

- Available in 3+ for wall use
- Unparalleled testing and training ensures high performance
- Suitable for indoor surfaces

## Product Codes

Series and Color	Item Codes
	3+ 1M3M
Calce Avorio-	F6372.1M3M
Calce Bianco	F6385.1M3M
Calce Grigio	F6376.1M3M
Calce Tortora	F6382.1M3M
Calce Antracite	F6373.1M3M
Calce Nero	F6379.1M3M



Walls and Ceiling: Laminam by Crossville® 3+ - Bianco F6385



# Porcelain Tile Panels – Calce

## About Crossville® Porcelain Tile Panels

Revolutionary technology concentrates three square meters into unbelievably thin porcelain: 3+ for interior walls and 5.6 for interior floors and interior and exterior walls. Versatile and flexible, it is a genuine skin for contemporary architecture, and is ideal in a host of applications.

## Applications

Crossville® Porcelain Tile Panels are suitable for many indoor applications:

### Building sector

Floor and wall coverings, partition and storage walls, false ceilings, surface finishes and restoration, insulated panels and tunnels.

### Interior design

Surfaces of kitchen and bathroom tops, cupboards, tables, desks, doors and furnishings in general.

### Shipbuilding sector

The lightness and high technical properties of Laminam make it suitable for walls of cruise ships and sports crafts.

### Composite and structural panels

The tile panels can be placed on top of each other or over other materials to create extremely light and particularly resistant composite and structural panels suitable in all those cases that require high resistance and reduced weight load on the surface.

## Technical Specifications

### Laminam 3+ and 5.6mm

Tile panels are produced by wet grinding of clayish raw materials, granite, and metamorphic feldspar-containing rocks and ceramic pigments. They are compacted shaping in compactor, sintered at 1200° C with hybrid firing. The tile panels can be placed on top of each other or over other materials to create extremely light and particularly resistant composite and structural panels suitable in all those cases that require high resistance and reduced weight load on the surface..

## Technical Info

### Laminam 3+

3+ tile panels are made up of the basic tile panel with the structure reinforced with fiberglass matting applied on the back using special adhesive.

Thickness: 3mm plus .5mm fiberglass mesh.

Use of Laminam 3+

- Interior and exterior wall coverings applied using mortar

### Laminam 5.6mm

Laminam 5.6mm is made out of the basic tile panel without reinforcing mesh, thickness 5.6mm.

Use of Laminam 5.6mm

- Interior floor and interior and exterior wall coverings applied using mortar to above, below, and slab on grade concrete.

- **Polished finish requires a penetrating sealer prior to installation**

*Information listed here is subject to change. Please refer to LaminambyCrossville.com for the latest, most accurate information.*

## Environmental statement

Laminam is a dynamic, flexible and rapidly growing company that makes recycling and sustainability its duty.

The revolutionary tile panel produced by Laminam does not neglect environmental friendliness: natural raw materials, sustainable technology, entirely recyclable products are at the heart of the company's green philosophy. Laminam is associated with the Green Building Council: created with natural materials, the tile panel does not release any substance into the environment and unbacked can be easily milled and recycled in other production cycles. Laminam tile panels are produced adopting sustainable technology which respects the entire ecosystem and is designed to reduce processing waste to a minimum and to limit the use of resources. The use of hybrid kilns that combine gas and electricity significantly reduces CO2 emissions in the atmosphere. Thanks to its large format Laminam optimizes the transport, thus reducing the emission of particulate matter which is harmful for the environment.

Moreover, Laminam has recently completed its own photovoltaic roof, a plant that today has already produced 1 GWh of energy and that in one year is expected to produce an estimated 1.387 GWh, therefore reducing the CO2 emission by 617 tons in the atmosphere and allowing Laminam to produce 15% of its energy requirements.

## Distinctive values

### Main features

Dimensions 1000x3000mm

Perfectly Flat

3+: 52 lbs / pc

5.6: 94 lbs / pc

### Chemical resistance

Crossville® Porcelain Tile Panels resists organic and inorganic solvents, disinfectants and detergents. It can be easily cleaned without affecting its surface characteristics; the only product that can attack the tile panels is hydrofluoric acid.

### Wear resistance

Crossville® Porcelain Tile Panels is highly scratch proof and resistant to deep abrasion. The properties of the tile panels remain unchanged even after intensive use and frequent cleaning.

### High flexural strength

Crossville® Porcelain Tile Panels has a high modulus of rupture. 3+ is 90 MOR and 5.6 is 50 MOR which are high values. Typical porcelain value is 35-37.

### Frost resistance

Crossville® Porcelain Tile Panels average water absorption is 0.1% therefore it is frost resistant and suitable for any weather condition.

### Fire resistant

Crossville® Porcelain Tile Panels does not contain organic material therefore it is resistant to fire and high temperatures. In the event of fire it does not release smoke or toxic substances.

### Chromatic properties

Crossville® Porcelain Tile Panels does not contain organic pigments and is resistant to UV rays. Even if subjected to severe climate changes, the colors remain stable.

### Graffiti

Crossville® Porcelain Tile Panels are a graffiti resistant ceramic surface; it is easy to clean and even the strongest paints can be removed.

### Sustainable

- The use of hybrid kilns that combine gas and electricity significantly reduces CO2 emissions in the atmosphere
- Laminam has led the way to a photovoltaic system being installed on the roofs of its two Fiorano Modenese plants
- Over a year, this photovoltaic system guarantees the production of around 1,050 GWh, thereby enabling the company to produce 10% of its energy requirements
- In terms of CO2 reduction, Laminam's photovoltaic roof system eliminates the release of 525 tons of CO2 into the atmosphere annually
- Member of the Green Building Council Italia, this Italian association of manufacturing leaders strive to transform the building market towards environmental sustainability and to build livable communities. Partners of GBC Italia promote environmental, economic and social responsibility by innovating the way in which buildings are designed, built and used.

# SUPERIOR Aluminum Picket Fence

SERIES  
7



Strong, Durable, and Maintenance-Free

[SuperiorAluminum.com](http://SuperiorAluminum.com)



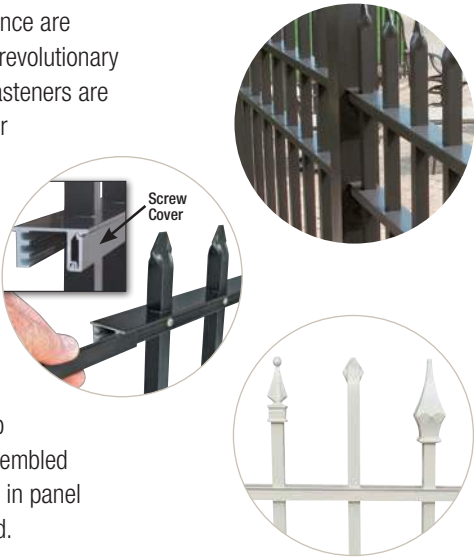
# SUPERIOR Aluminum Picket Fence

## The Secure and Stylish Fence Solution

Superior Aluminum Series 7 picket fence creates a durable security structure for any location looking to keep people or animals in or out. The built-in strength provided by sturdy aluminum components guarantees that the area you need to secure, remains secure. All of this function comes without needing to sacrifice aesthetics thanks to the beautiful build of each fence section.

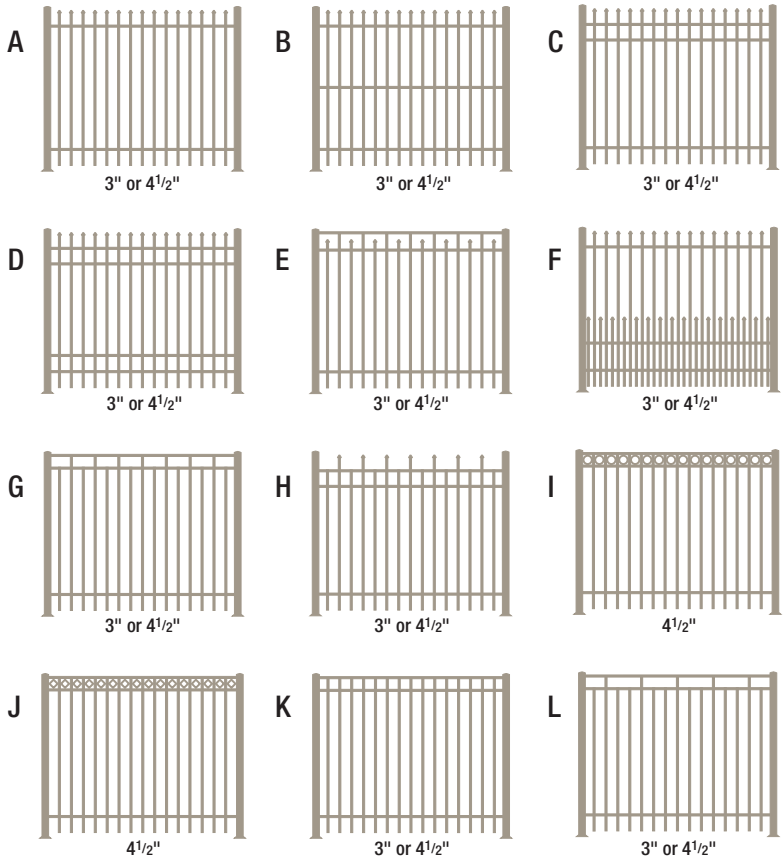
Bulky brackets in level runs of fence are completely eliminated thanks to revolutionary pocket post technology. Picket fasteners are also concealed thanks to Superior Aluminum screw covers, fully streamlining any fence run.

A wide variety of designs allow each project to forge a unique identity. Post cap options and picket options, along with multiple finishes, allow for full customization on top of design selection. Each pre-assembled fence section is shipped up to 6' in panel length and at any height required.



### Fence Designs

A wide range of design styles ensure a perfect fit for any project. Each option can be further personalized to fit your style.



### Series 7 Applications

A sampling of the numerous applications available

#### Multi-Family Facilities

Swimming pool fence, general security fence

#### Athletic Venues

Stadium/field security

#### Residential Locations

Swimming pool fence, backyards, security/privacy

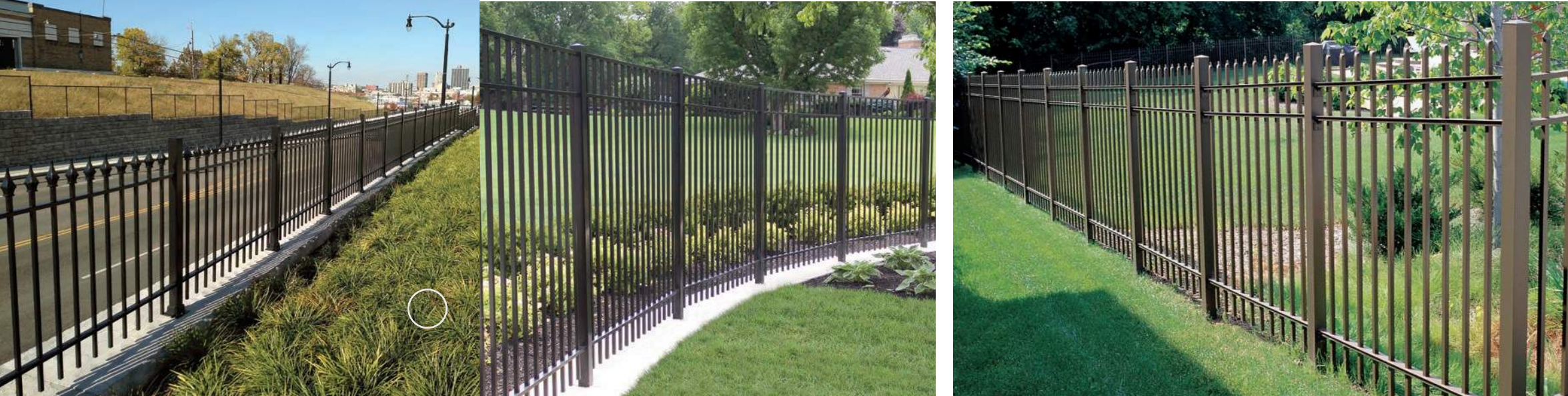
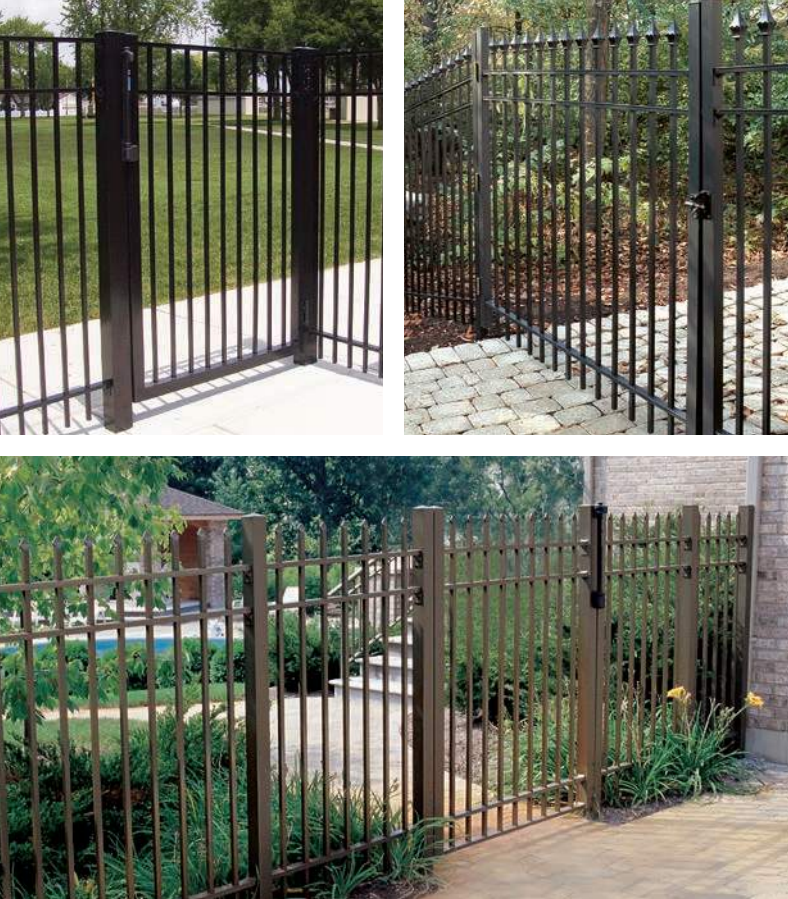
# SUPERIOR Custom Aluminum Gates

## Fully Customized for a Lifetime of Use

Each Superior Aluminum custom gate is built to the exact size, shape, and design desired on the project. This ensures a perfect fit and a lifetime of flawless entrances and exits.

Gates are interchangeable in terms of picket and post options. Further personalization is always available via custom plates, gates built to accept push bars or other opening devices, or any other factors your project may need. The only limit is your imagination!

Superior gates feature two standard latch options: Magna-Latch and LokkLatch. The Magna-Latch will close magnetically and pull open from the top, making it fantastic for pool fence. LokkLatch will utilize a more traditional key system ideal for more secure locales. Hinges are available in either a full length piano hinge or an aluminum self-closing hinge (great for swimming pools!).





## Gates On Other Products

Superior Aluminum custom gates are mainly built for use with Series 7 fence, but they can be used with any other Superior products as well!



**Series 5C  
Pipe Cable Railing**



**Series 9P  
Architectural Railing**



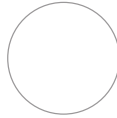
**Series 7V  
Privacy Fence**



**Series 5H  
Pipe Railing**

## Finishes

Standard colors are always available for all products. Additional colors are generally available, but accessibility should be confirmed with Superior Aluminum. All regular finishes are PPG Duracron paint.



White



Black



Dark Bronze



Sandstone



Satin Anodized



## Why Superior Aluminum?

- All Superior Aluminum railing is assembled in-house to the exact size and scope of the project, no complicated or time-consuming kits for installers to deal with!
- Each railing that leaves the Superior facility is built to meet all of the code requirements in the destination area
- A majority of Superior Aluminum employees can boast over 25 years with the company, a rare level of overall experience
- Superior Aluminum has been manufacturing high-quality aluminum for over 50 years, and is now on its third generation of family ownership

## Ask about our complete line of Superior Aluminum Products:

- Series 9P Aluminum Picket Railing
- Series 9S Seamless Aluminum Railing
- Series 9C Aluminum Cable Railing
- Series 9H Aluminum Horizontal Railing
- Series 7V Privacy Fence
- Series 6 Custom Residential Railing & Columns
- Series 5H Aluminum Pipe Railing
- Series 5P Aluminum Pipe Picket Railing
- Series 5C Aluminum Pipe Cable Railing
- Aluminum Columns – Round & Square
- Fiberglass Columns – Round & Square
- PVC Column Wraps – Square & Craftsman



**Series 9 Architectural Railing**



**Series 9C Cable Railing**



**Aluminum Columns**



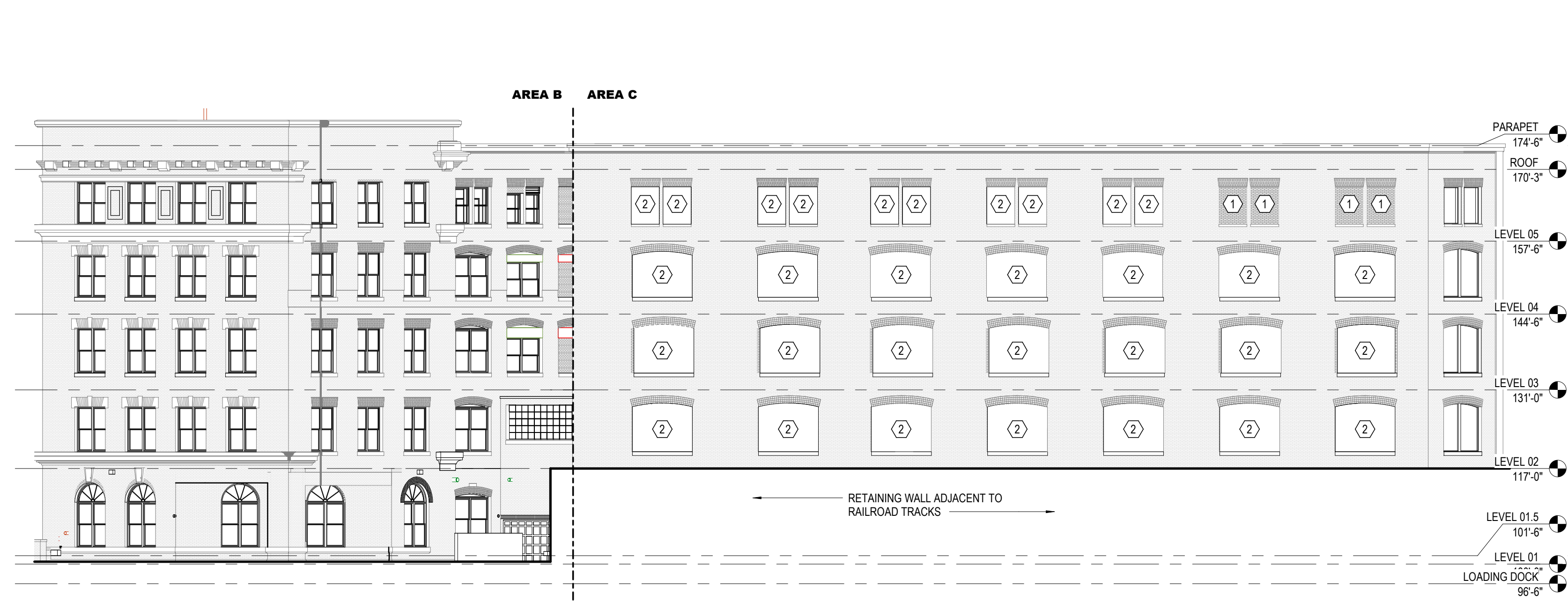
**Series 5P Pipe Picket Railing**

# SUPERIOR

ALUMINUM PRODUCTS

555 East Main St. | PO Box 430 | Russia, OH 45363  
937-526-4065 | Fax: 937-526-3904  
[SuperiorAluminum.com](http://SuperiorAluminum.com)  
[info@superioraluminum.com](mailto:info@superioraluminum.com)





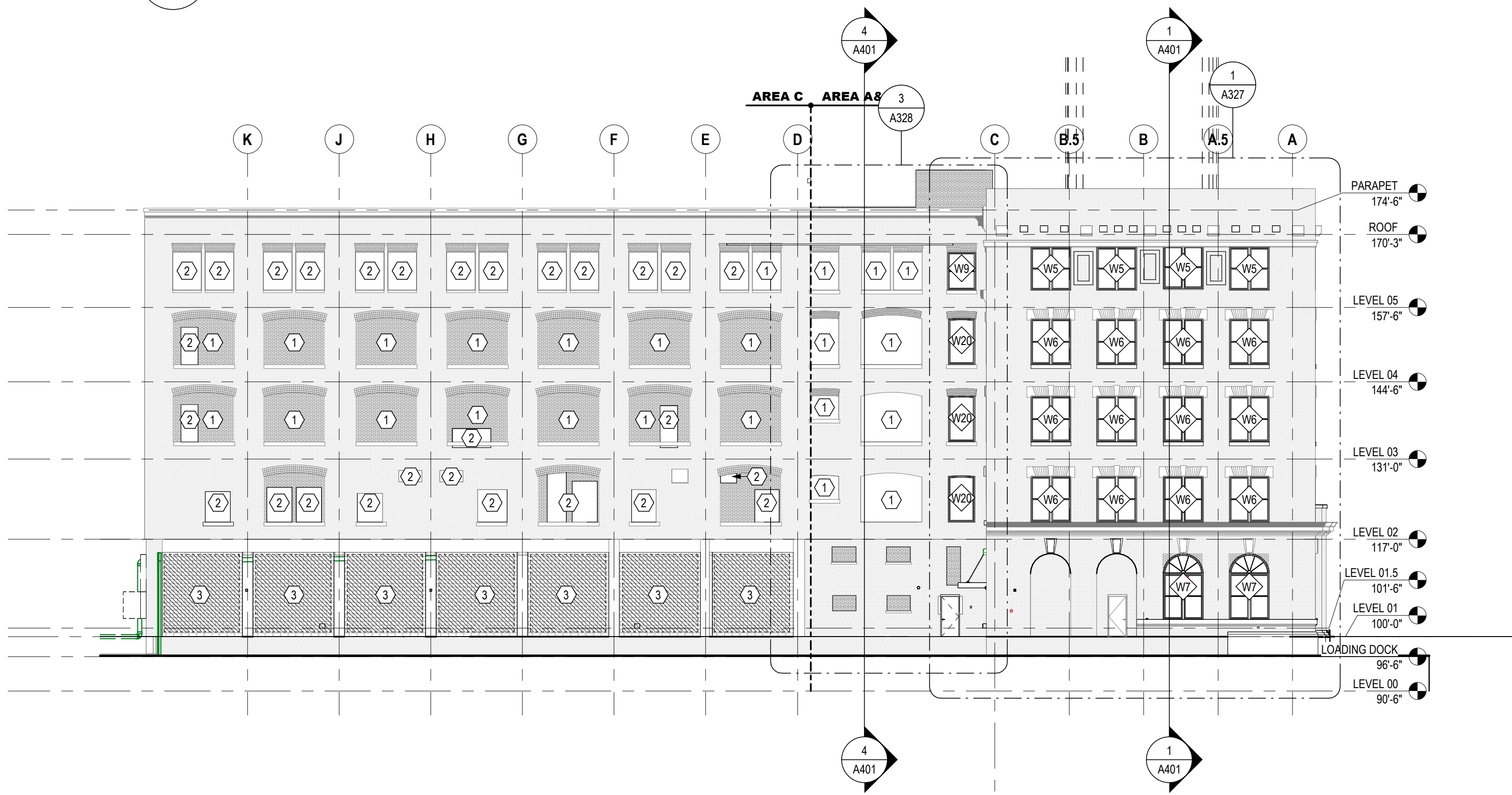
**5 ELEVATION** BLDG 2 - EAST ELEVATION  
1/16" = 1'-0" REF: 1/A100



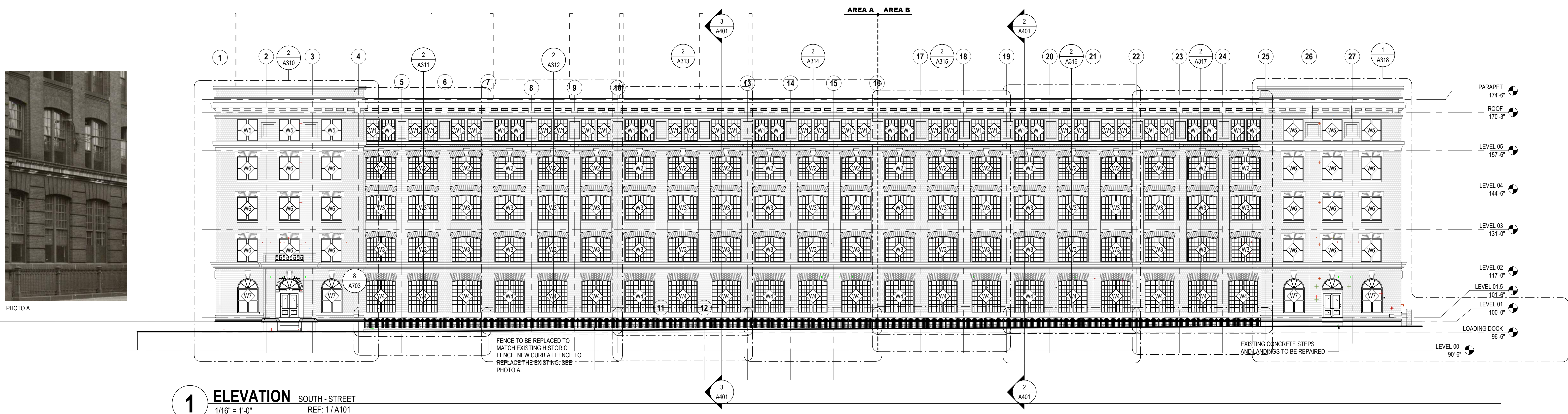
**4 ELEVATION** NORTH - PARKING LOT  
1/16" = 1'-0" REF: 1/A101



**3 ELEVATION** NORTH - AT TERRACE  
1/16" = 1'-0" REF: 3/A101A



**2 ELEVATION** WEST  
1/16" = 1'-0" REF: 1/A101



**1 ELEVATION** SOUTH - STREET  
1/16" = 1'-0" REF: 1/A101



**EXTERIOR ELEVATIONS CODED NOTES**

1. BRICK AT EXISTING MASONRY OPENING TO REMAIN
2. EXISTING MASONRY OPENING TO BE BOARDED UP WITH TRANSLUCENT POLYCARBONATE PANEL
3. NEW CMU INFILL TO BE PAINTED. FINISH COLOR AND DESIGN TO BE COORDINATED WITH OWNER.

**EXTERIOR ELEVATIONS REPAIR KEYNOTES**

- MORTAR**
- M1. REPOINT MORTAR IN THIS LOCATION. THE BOX INDICATES THE APPROXIMATE EXTENT OF THE WORK AREA
  - M2. REPOINT STAIR STEPPED BROKEN MORTAR JOINTS AT THIS LOCATION
  - M3. REPOINT MORTAR AT TOP OF PROJECTING BRICK QUOINS
  - M4. REPOINT MORTAR IN BRICK VOUSSEURS IN THIS LOCATION
  - M5. REPOINT ALL SKY FACING JOINTS IN PROJECTING STONEWORK. INSET MORTAR AND APPLY SEALANT
  - M6. REPOINT ALL SKYFACING JOINTS IN STONE COPING AT PARAPET. INSET MORTAR AND APPLY SEALANT
  - M7. REPOINT ALL VERTICAL AND HORIZONTAL FACE JOINTS IN STONEWORK
  - M8. NEW CMU INFILL
- BRICK**
- B1. REPLACE SPALLED OR MISSING BRICK. THE BOX INDICATES THE APPROXIMATE EXTENT OF THE WORK AREA
  - B2. NEW INFILL BRICK. RECESS 1/2" FROM FACE OF WALL
  - B3. NEW BRICK TO ALIGN W/ EXISTING MASONRY

- STONE**
- S1. PREPARE STONE FOR COMPOSITE MORTAR REPAIR WHERE STONE HAS SPALLED, CRACKED OR DELAMINATED. MATERIAL PROPERTIES OF THE REPAIR MORTAR TO MATCH ORIGINAL MASONRY UNIT RECEIVING THE REPAIR INCLUDING STRENGTH, POROSITY/DENSITY, WATER ABSORPTION AND VAPOR PERMEABILITY. PREPARATION OF THE REPAIR AREA SHOULD INCLUDE KEYED PERIMETER EDGES, UNIFORM DEPTH, SURFACE ROUGHNESS, CLEAN AND STAINLESS STEEL SUPPLEMENTAL ANCHORAGE. INSTALLATION OF THE COMPOSITE MORTAR SHOULD CONSIST OF BASE COAT, INITIAL AND FINISH COATS. FINISHING TO MATCH PROFILE AND CURING AS REQUIRED. QUALITY CONTROL SHOULD INCLUDE REPAIR MOCKUPS BEFORE START OF WORK OBSERVATIONS AND DURING THE PROJECT OF REPAIR AREA PREPARATION, FINAL VISUAL OBSERVATION FOR CRACKING AND SOUNDING THE REPAIR WITH A Mallet TO CONFIRM BOND AND SOUNDNESS. REFER TO DETAILS ON A460.

- S2. REMOVE BROKEN SECTION OF STONE. PREPARE AND INSTALL DUTCHMAN OF MATCHING STONE COLOR, TEXTURE AND PROFILE. REPLACEMENT OR DUTCHMAN STONE SHOULD HAVE SIMILAR COMPATIBLE MATERIAL PROPERTIES TO ORIGINAL STONE. REFER TO SPECIFICATIONS FOR REQUIRED TESTING AND MOCK UPS TO ENSURE COMPATIBLE MATERIALS THAT AESTHETICALLY MATCH ARE SELECTED.
- S3. REMOVE AND RESET DISLODGED STONE IN THIS LOCATION

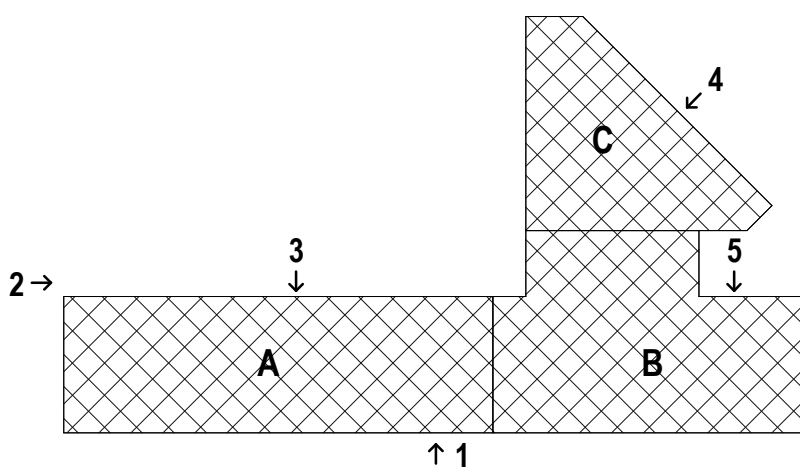
- OTHER**
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  - O2. REMOVE EXISTING BRICK/STONE. AT WINDOW OPENINGS, PREPARE FOR NEW WINDOW SCOPE
  - O3. MECHANICAL LOUVER. WIDTH TO MATCH THE EXISTING OPENING AND FINISH COLOR TO MATCH NEW BRICK INFILL
  - O4. NEW MECHANICAL LOUVER. REFER TO WINDOW SCHEDULE AND MECHANICAL DWGS
  - O5. NEW MECHANICAL BRICK VENT FOR DRYER EXHAUST. SEE MECHANICAL DWGS
  - O6. NEW MECHANICAL BRICK VENT FOR INTAKE AIR. SEE MECHANICAL DWGS
  - O7. REMOVE METAL REMNANTS - INFILL RESULTING CAVITY WITH MORTAR

MASONRY WILL BE CHEMICALLY CLEANED ON EXTERIOR TO REMOVE SOILING, GRAFFITI AND LOOSE PAINT TO PROVIDE CLEAN SURFACE. ALL BRICK TO BE CLEANED WITH APPLICATIONS OF PROSOOD SAFESTRIP. ALL SANDSTONE TO BE CLEANED WITH ECOQUIP MATERIAL BLASTER WITH GLASS AS THE MEDIA.

CONTRACTOR TO PROVIDE A UNIT COST FOR THE FOLLOWING ITEMS AND AN ADDI DEDUCT BASIS BEYOND THE BASE BID FOR RETAIR WORK:

- MASONRY REPAIR (\$/SF)
- STONE REPAIR - 1/2" TO 1" DEPTH (\$/SF)
- STONE RETAIR > 1" DEPTH (\$/SF)
- FLASHING REPLACEMENT (\$/LF)
- MASONRY REPOINTING (\$/SF PER ELEV)

**KEYPLAN**



#	DATE	CHANGE DESCRIPTION

**WARNER & SWASEY ADAPTIVE REUSE**  
5701 CARNEGIE AVENUE, CLEVELAND, OH 44103  
FOR

**PENNROSE**

1621 EUCLID AVE  
SUITE 1150  
CLEVELAND, OH 44115

PHONE: (216) 432-0696  
FAX: (216) 432-0699

**DRAWING TITLE:**  
**BUILDING ELEVATIONS - OVERALL**

05/16/2025

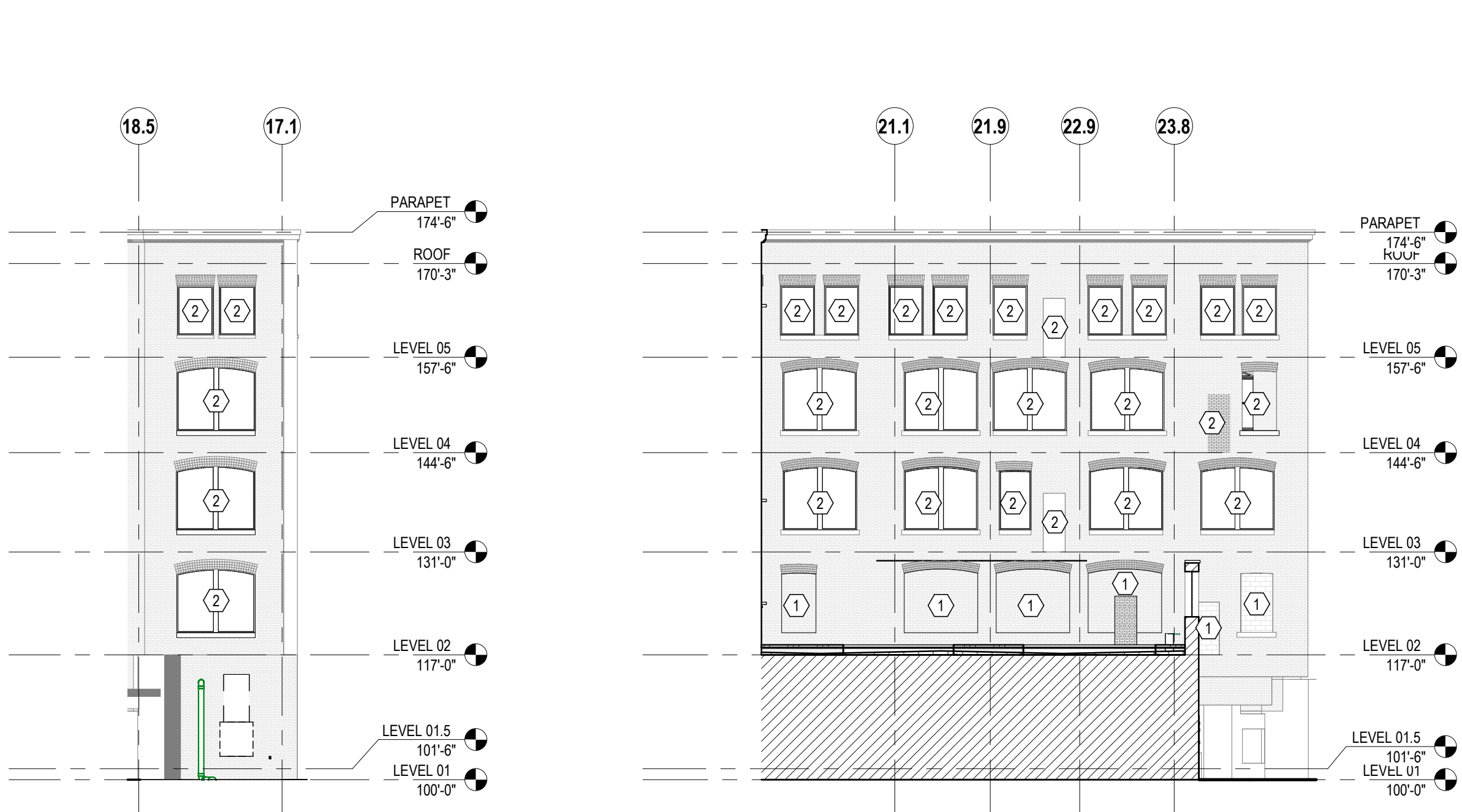
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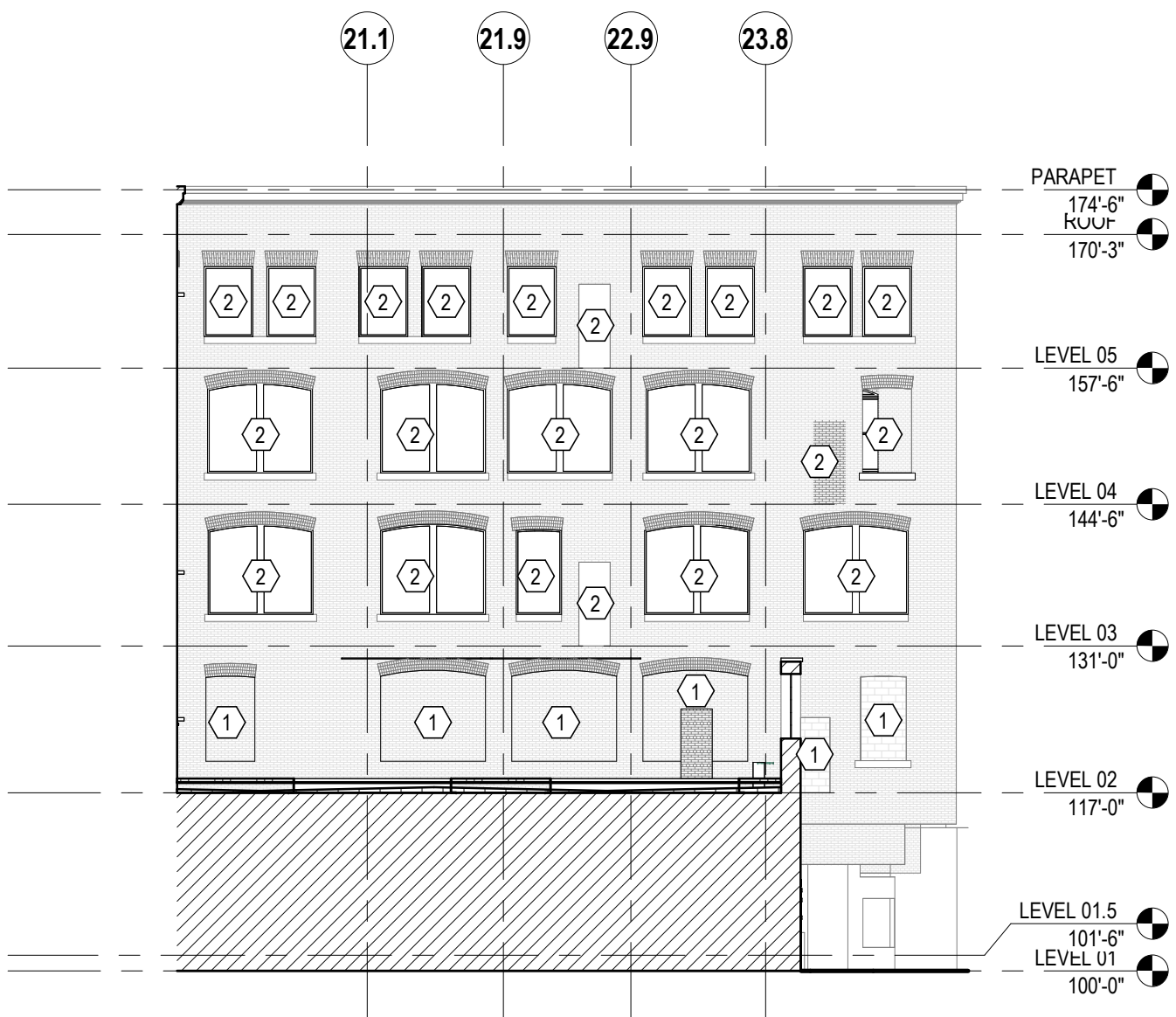
**A301**

80% CONSTRUCTION DOCUMENTS

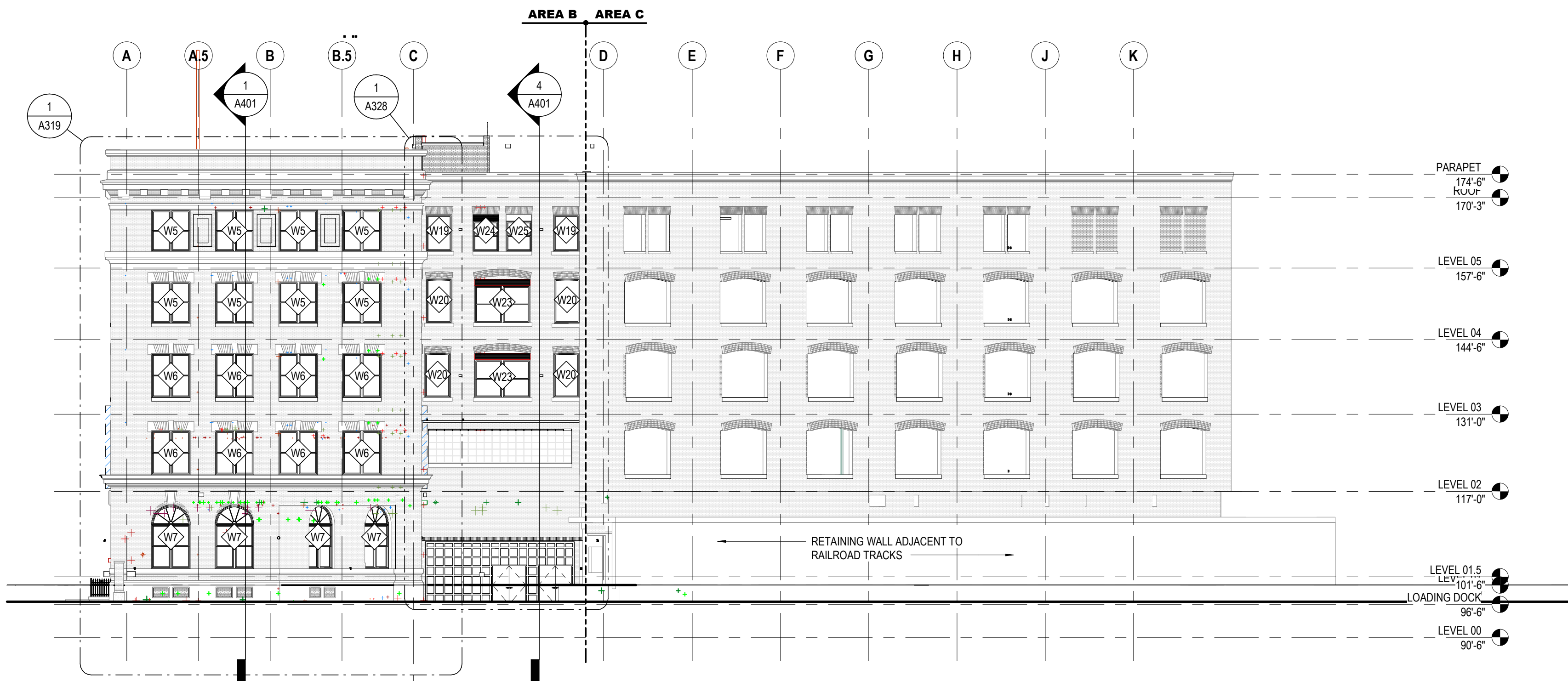




**3 ELEVATION** NORTH - AREA C  
1/16" = 1'-0"  
REF: 1 / A101



**2 ELEVATION** SOUTH - AREA C  
1/16" = 1'-0"  
REF: 3 / A101A



**1 ELEVATION** EAST ELEVATION  
1/16" = 1'-0"  
REF: 1 / A101

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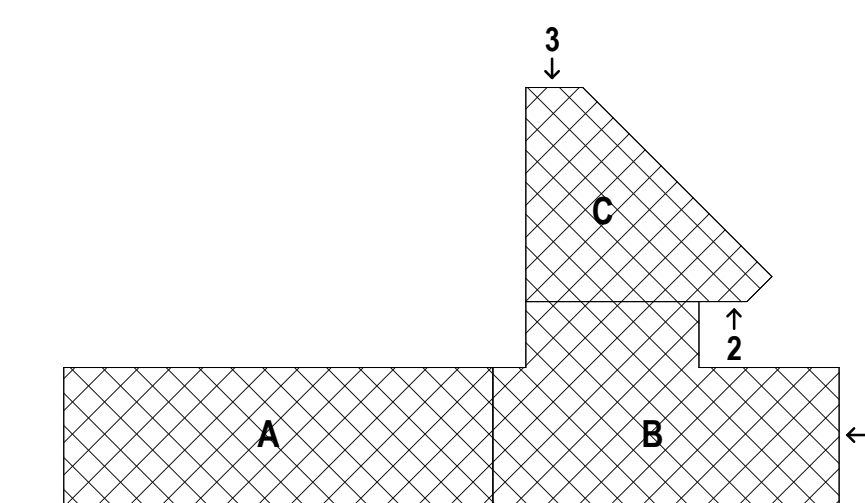
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PHONE: (216) 432-0696  
FAX: (216) 432-0699

**DRAWING TITLE:**  
**BUILDING ELEVATIONS -  
OVERALL**

DRAWN BY: Author	05/16/2025	
	CHECKED BY: Checker	20352.01
	<b>A302</b>	
	80% CONSTRUCTION DOCUMENTS	



# Cleveland City Planning Commission

## Staff Report

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

July 18, 2025

## **EC2025-002** – Warner & Swasey

July 18, 2025

ECDRAC recommended final approval with conditions on 7/17/25:

- Consider moving the transformer north 20 ft, with understanding that signage and way finding come back later



## **EC2025-020** – Signet Housing Project

July 18, 2025

Project Address: Chester & E 40<sup>th</sup>

Type: New Construction – Residential

Project Representative: James Dreger

Approval: Conceptual

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**Ward 7: Council Member Howse-Jones**

**SPA: Goodrich-Kirtland Pk**

**CDCs: Midtown Cleveland &  
Famicos Foundation**



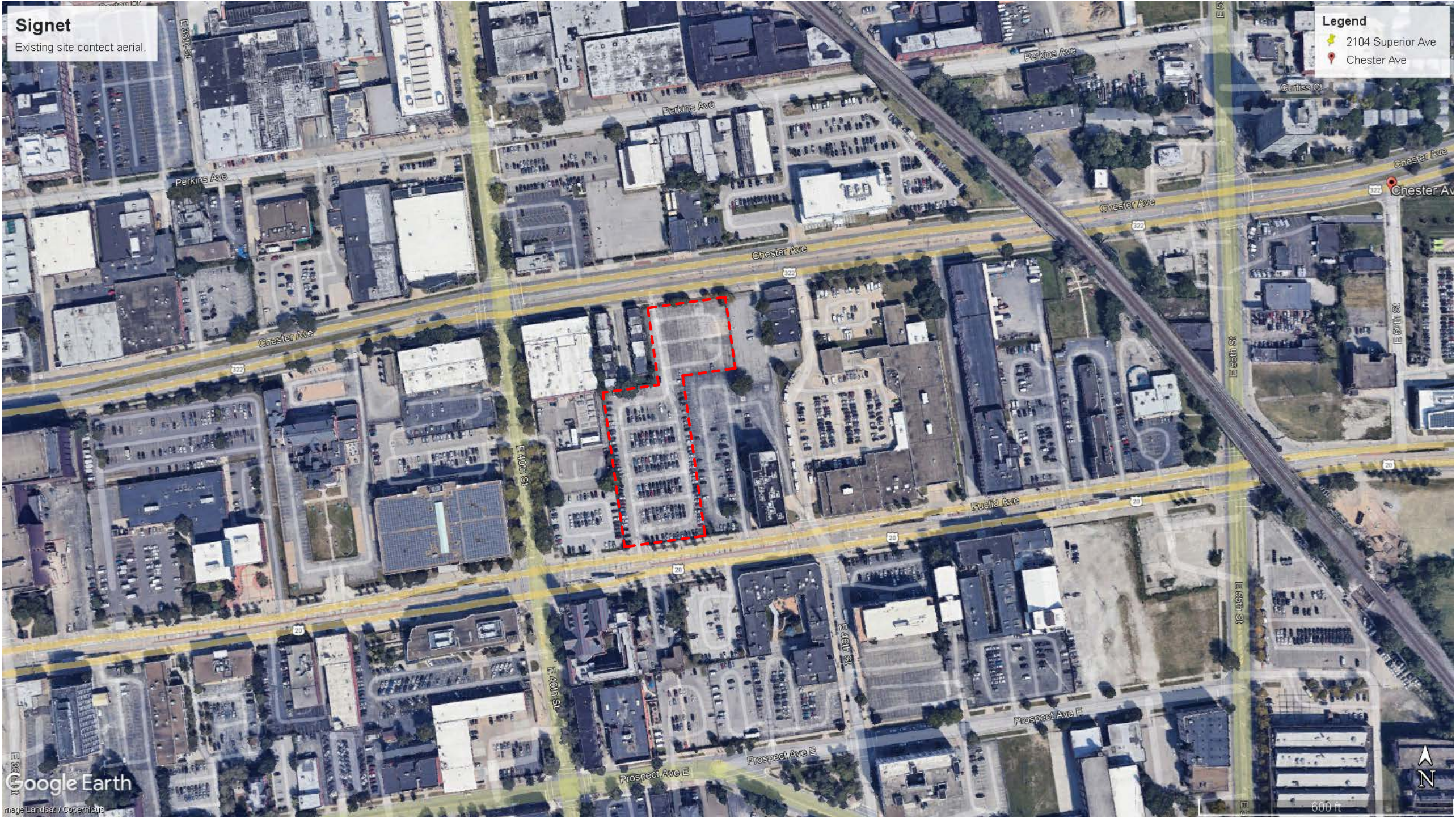
DESIGN REVIEW

JULY 10, 2025

# SIGNET MIDTOWN SITE

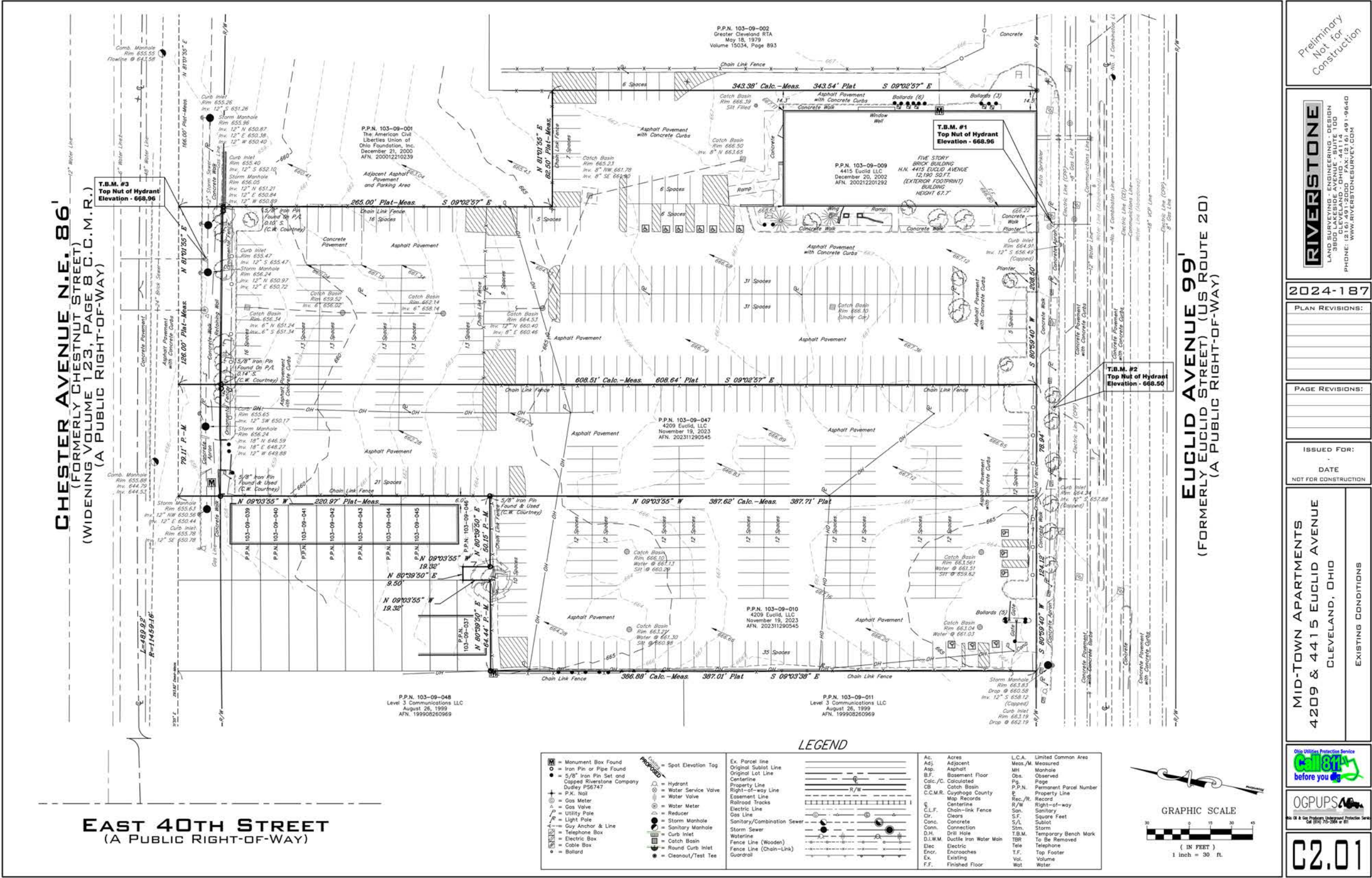


EXISTING SITE CONTEXT AERIAL





EXISTING SITE SURVEY





## vocon. 230398.00 | SIGNET - MIDTOWN SITE

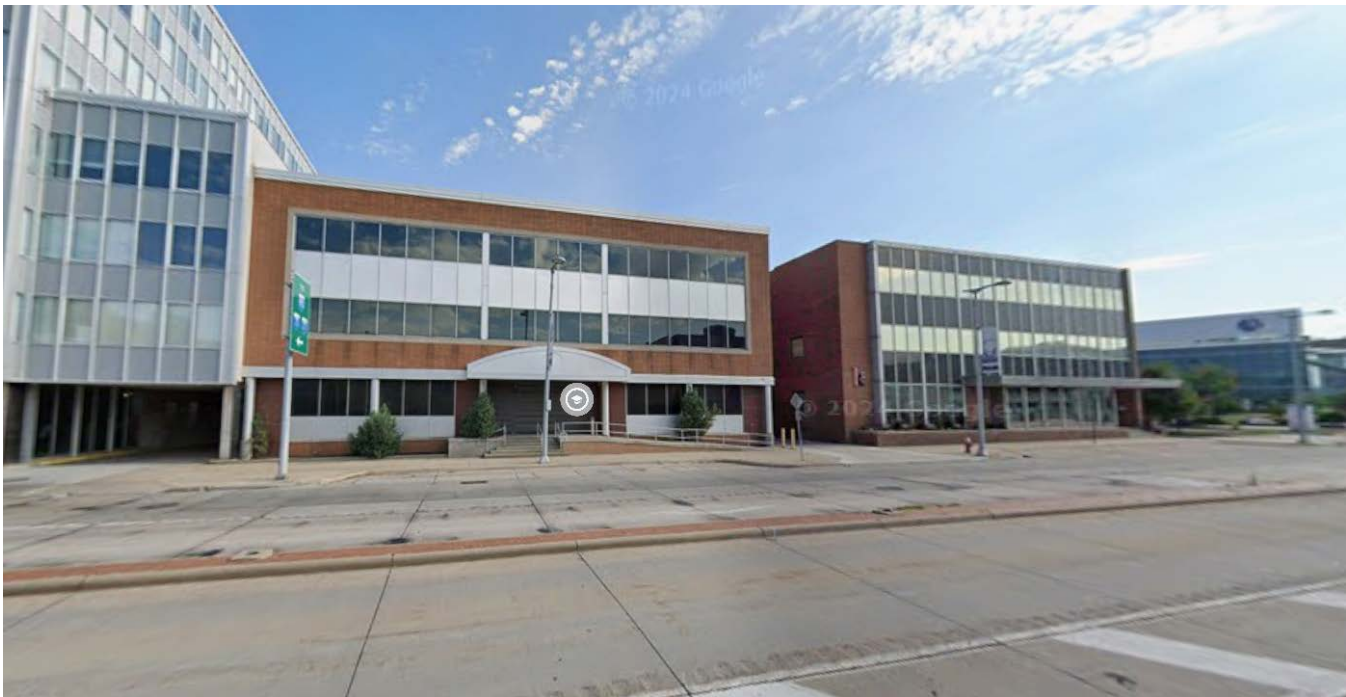




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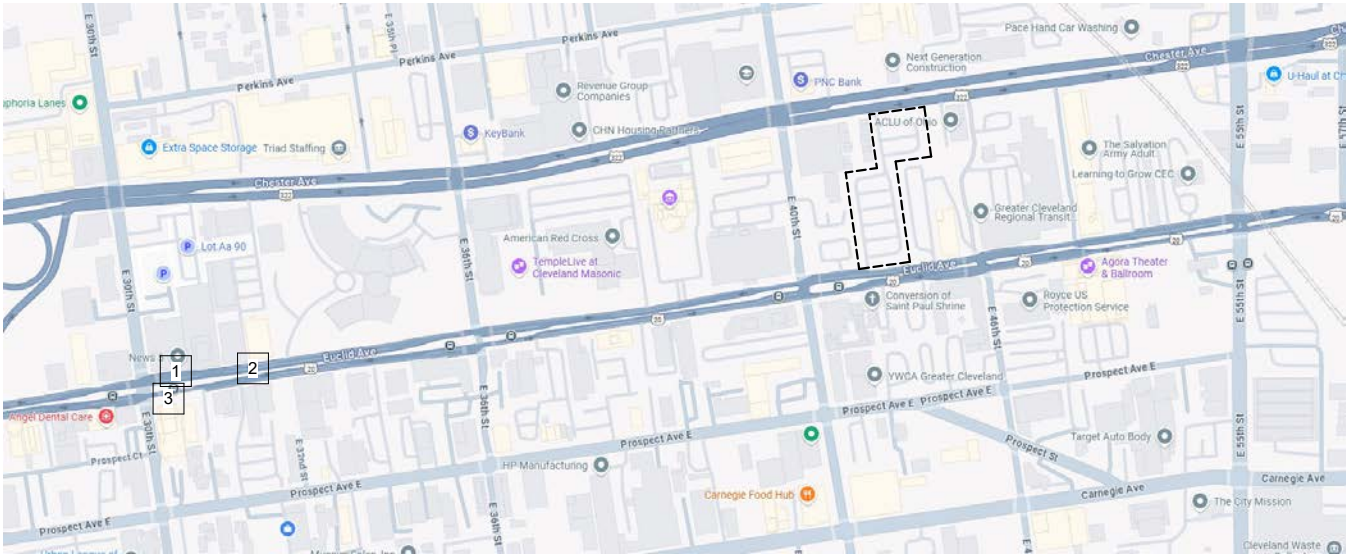
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SITE CONTEXT - EUCLID



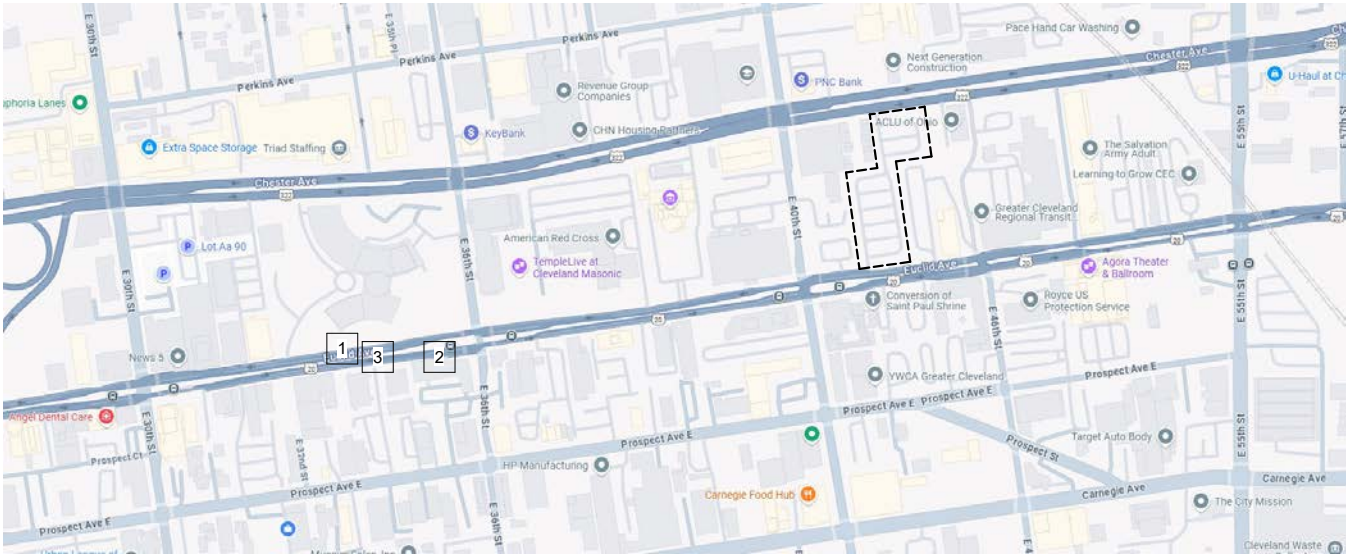
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SITE CONTEXT - EUCLID



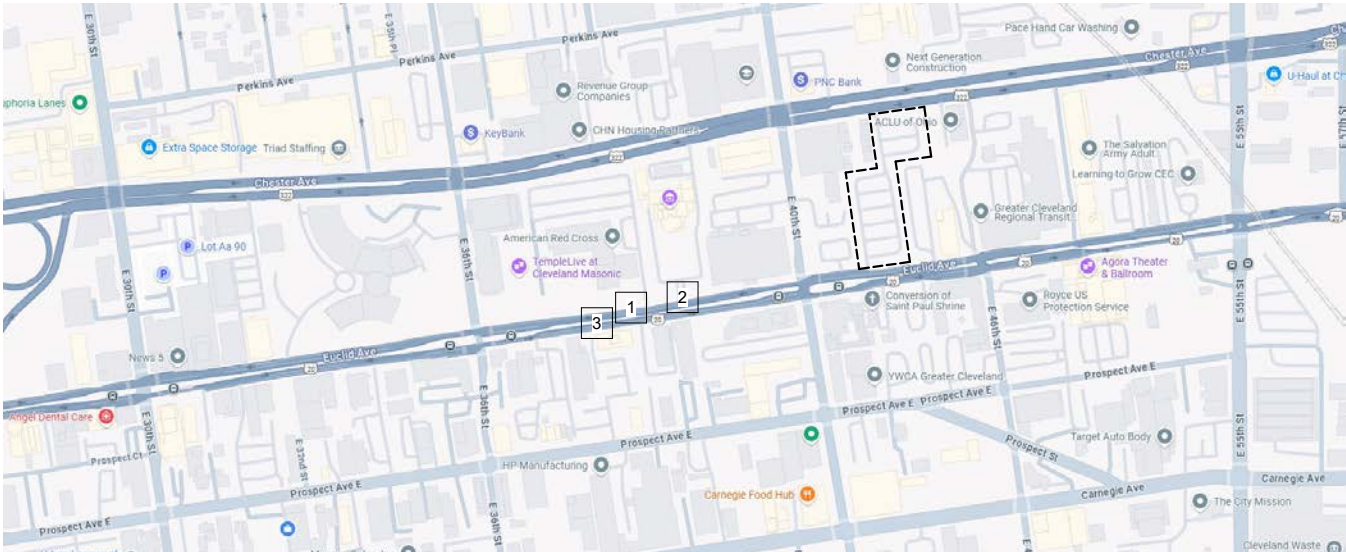
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SITE CONTEXT - EUCLID



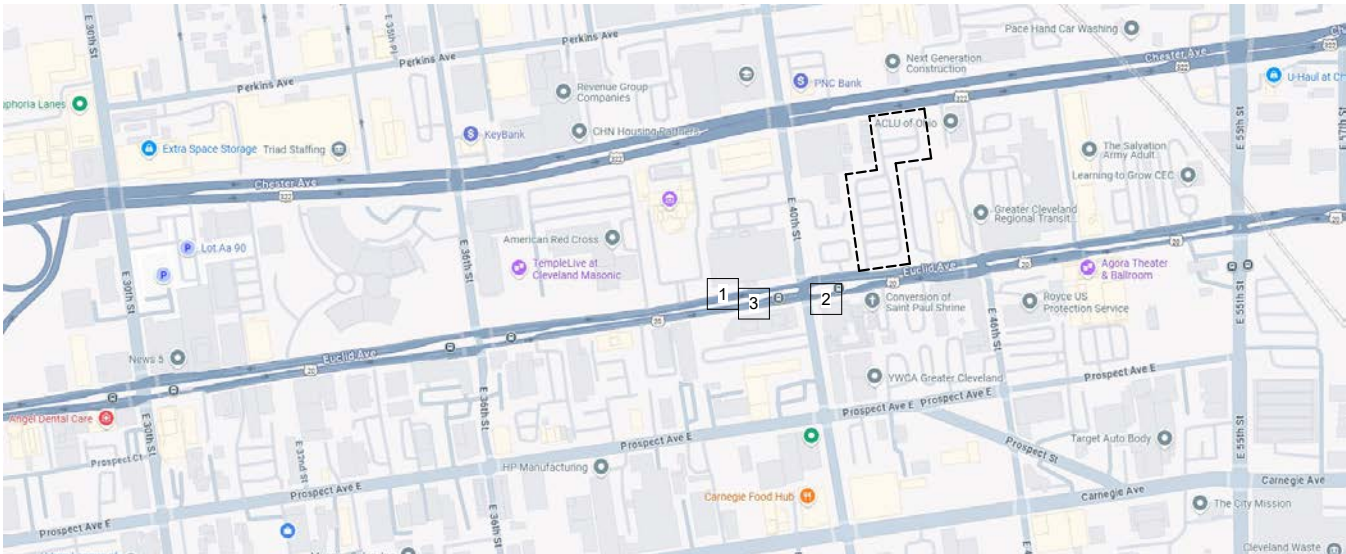
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SITE CONTEXT - EUCLID



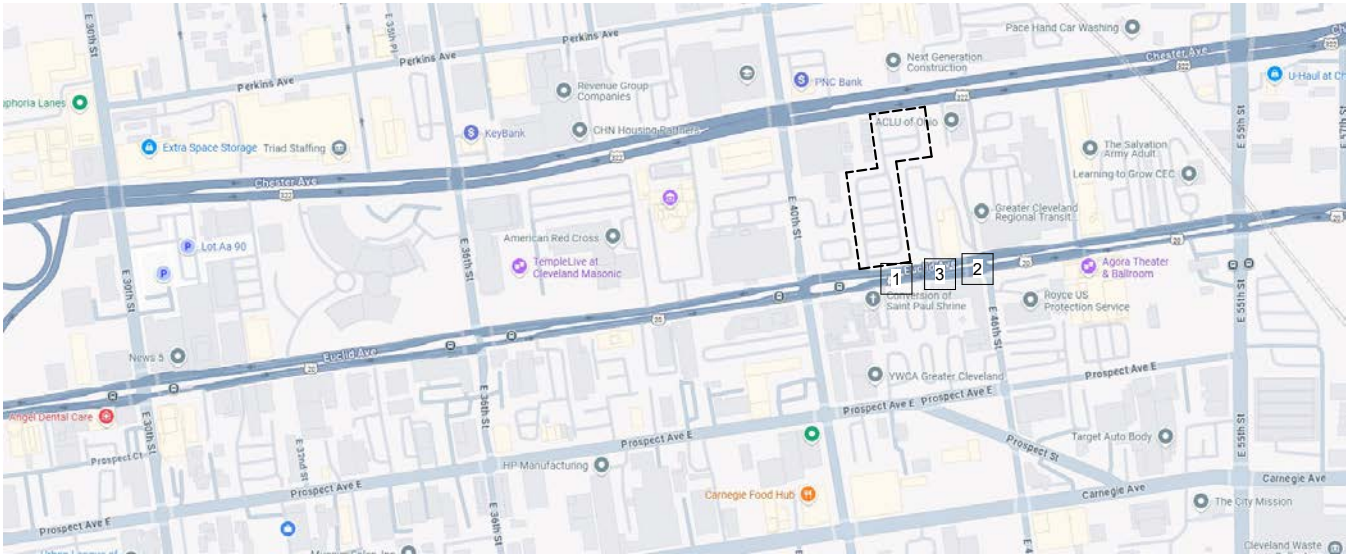
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SITE CONTEXT - CHESTER



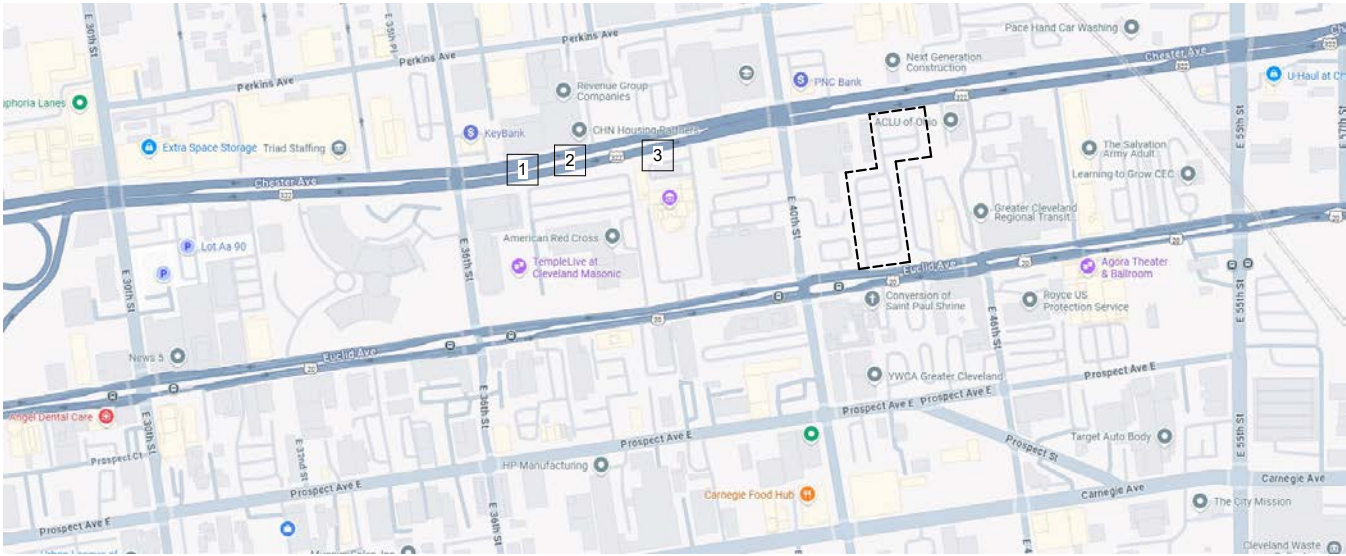
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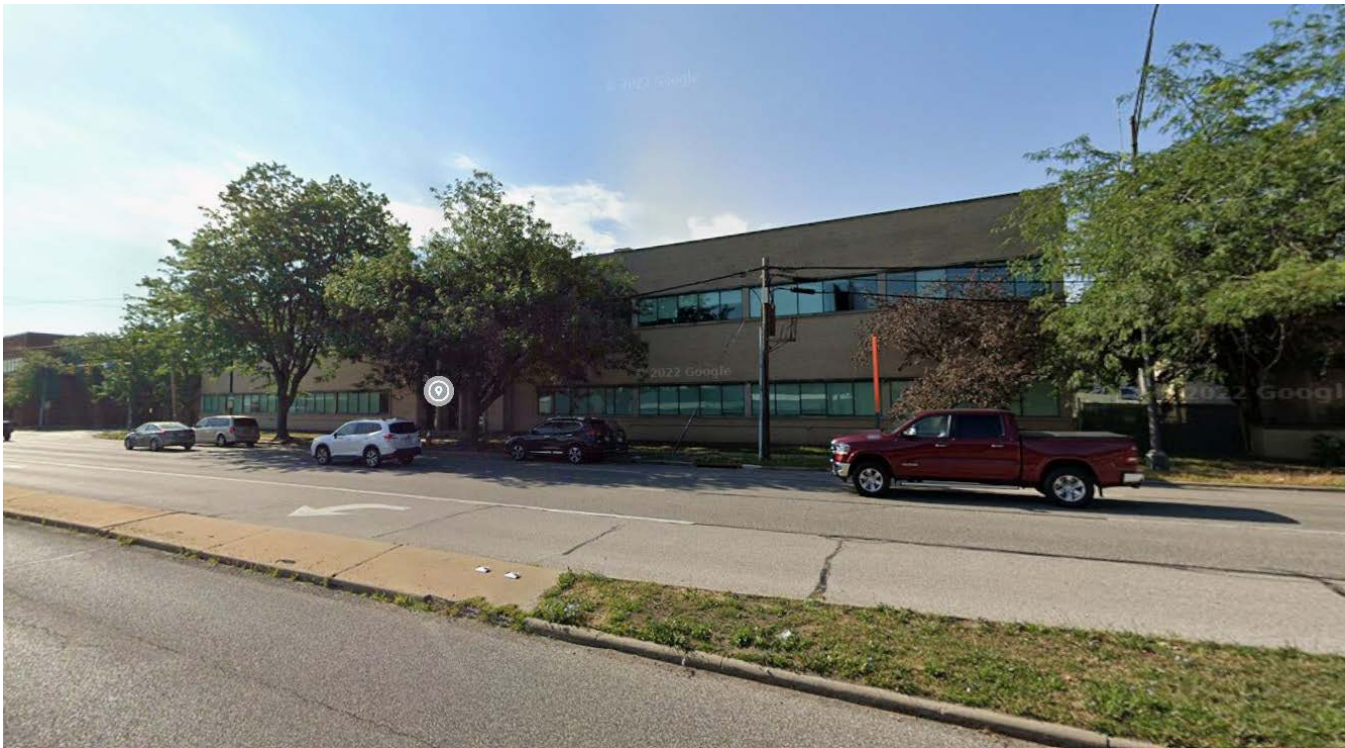
SITE CONTEXT - CHESTER



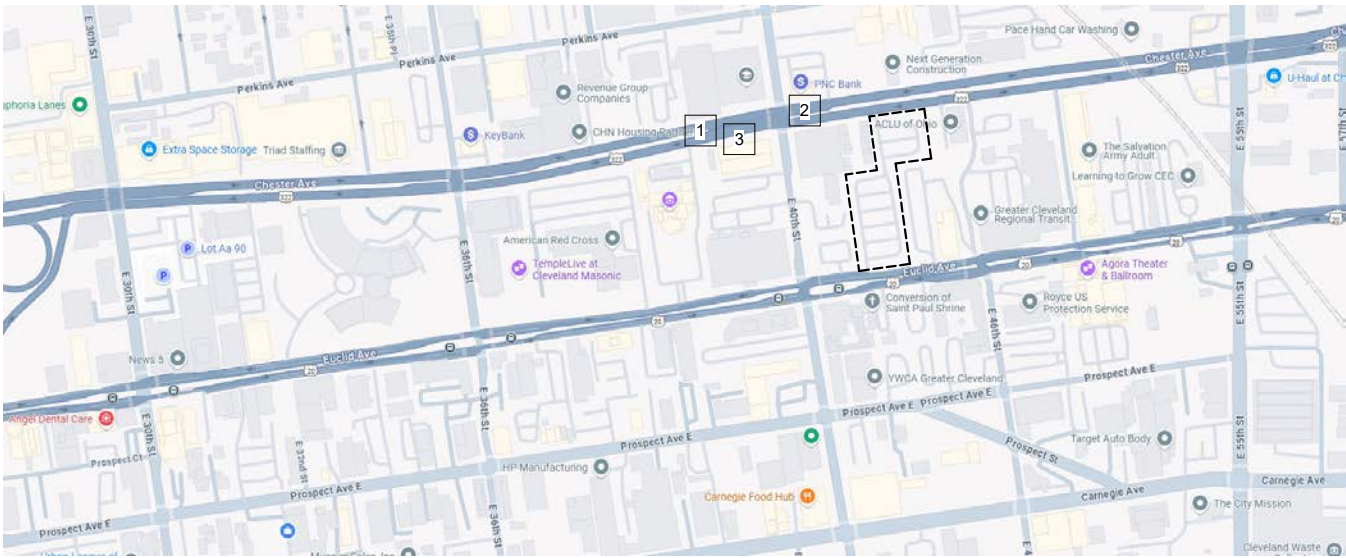
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2



3





SITE CONTEXT - CHESTER



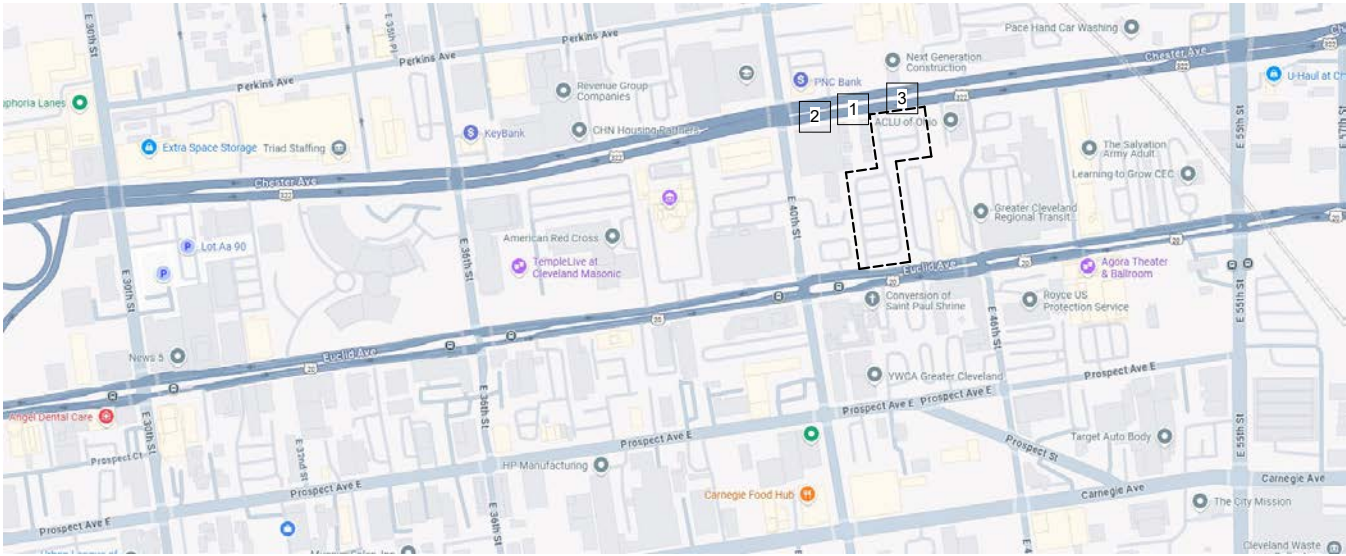
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3





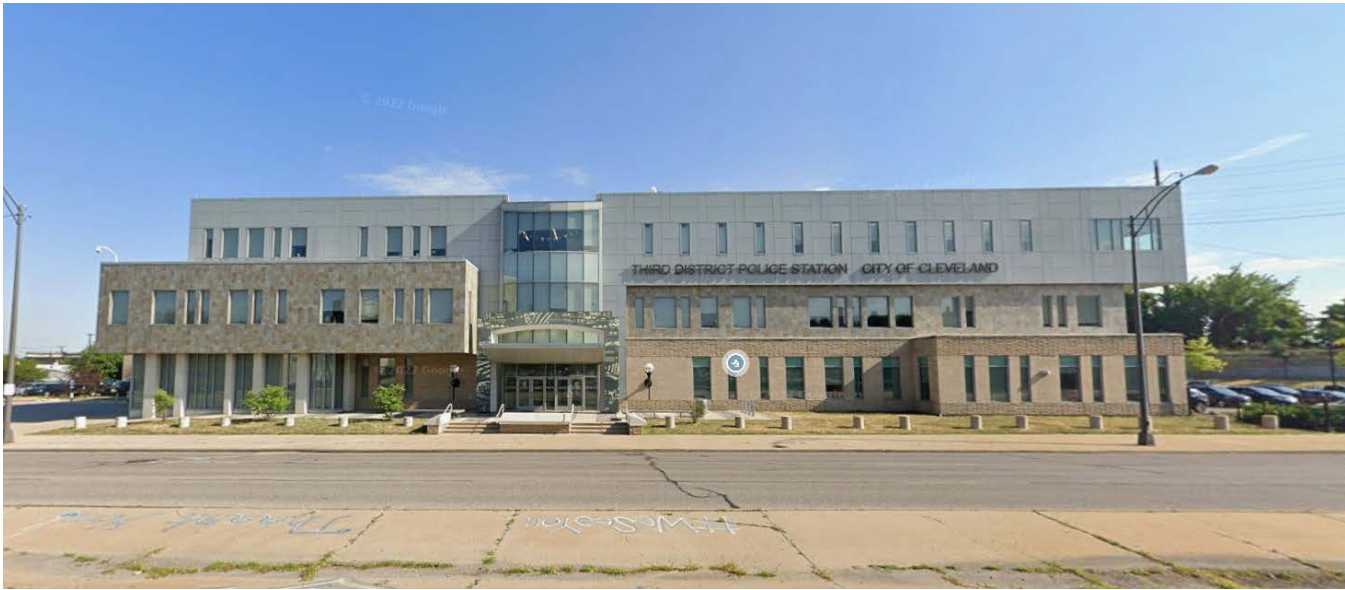
SITE CONTEXT - CHESTER



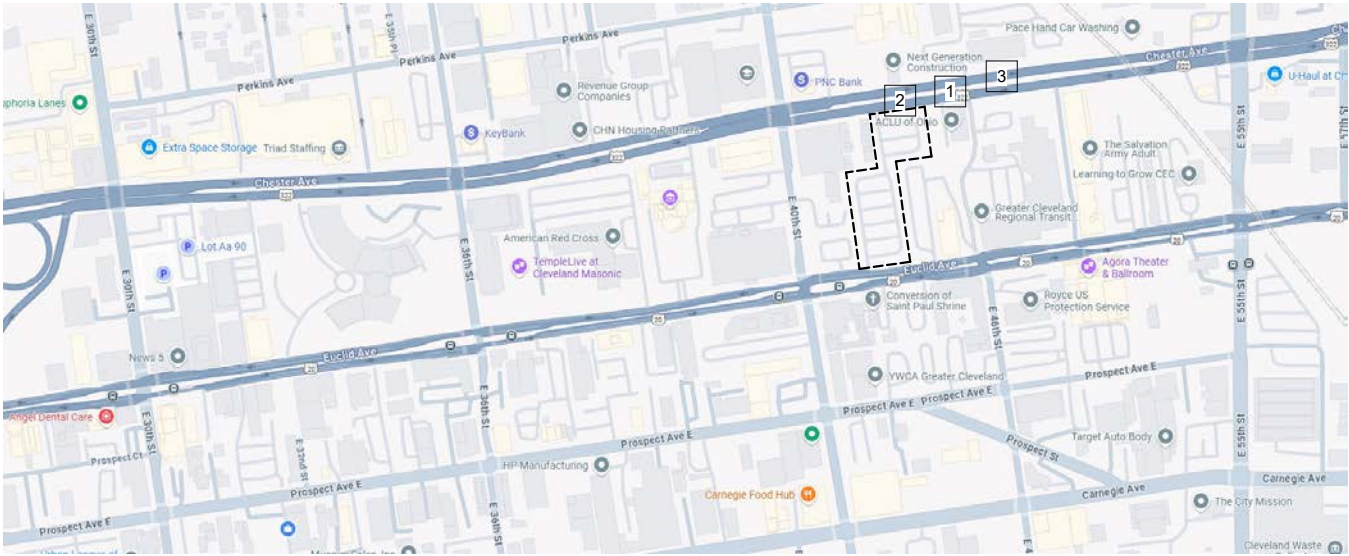
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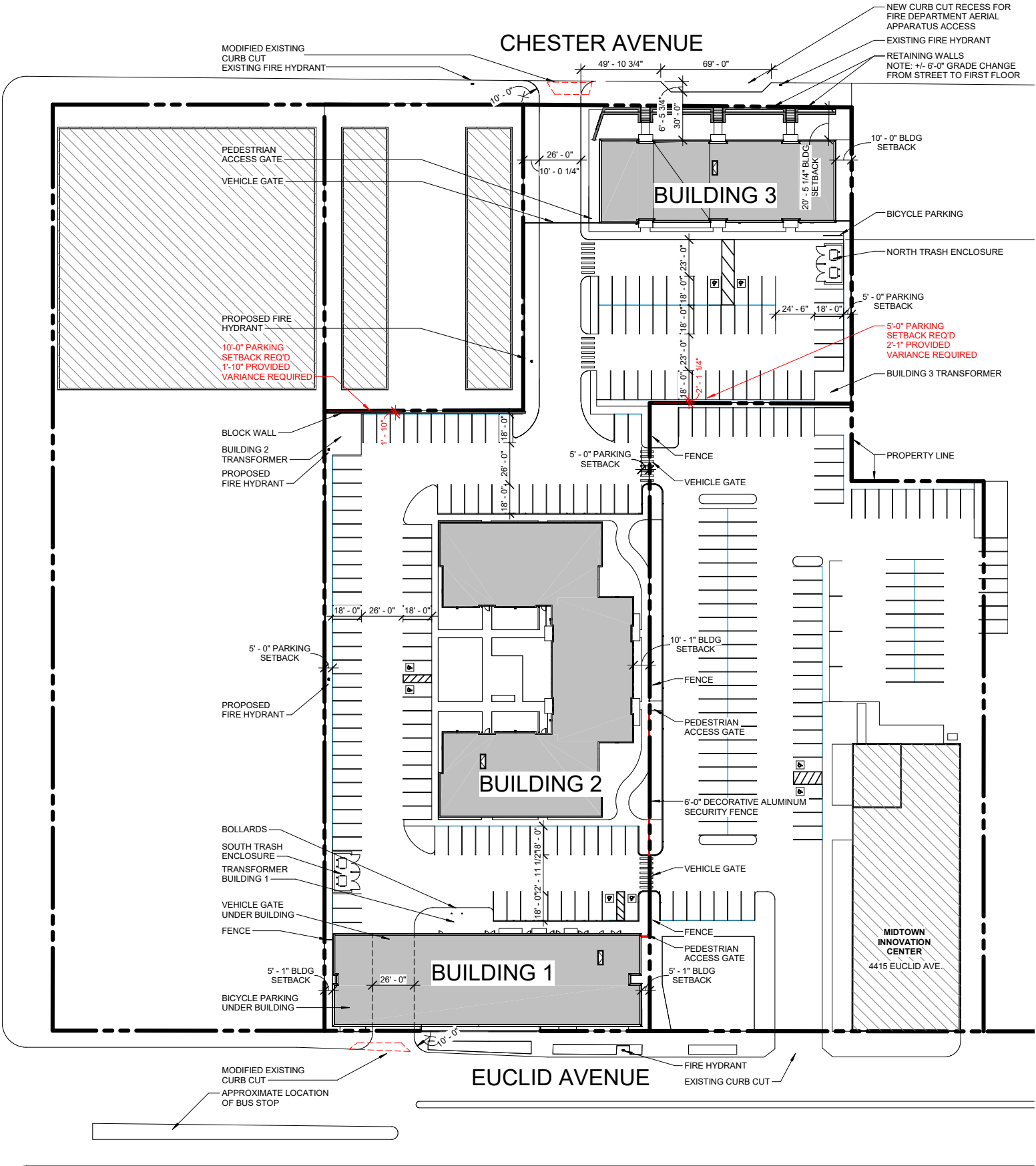


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SITE PLAN

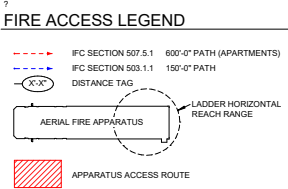
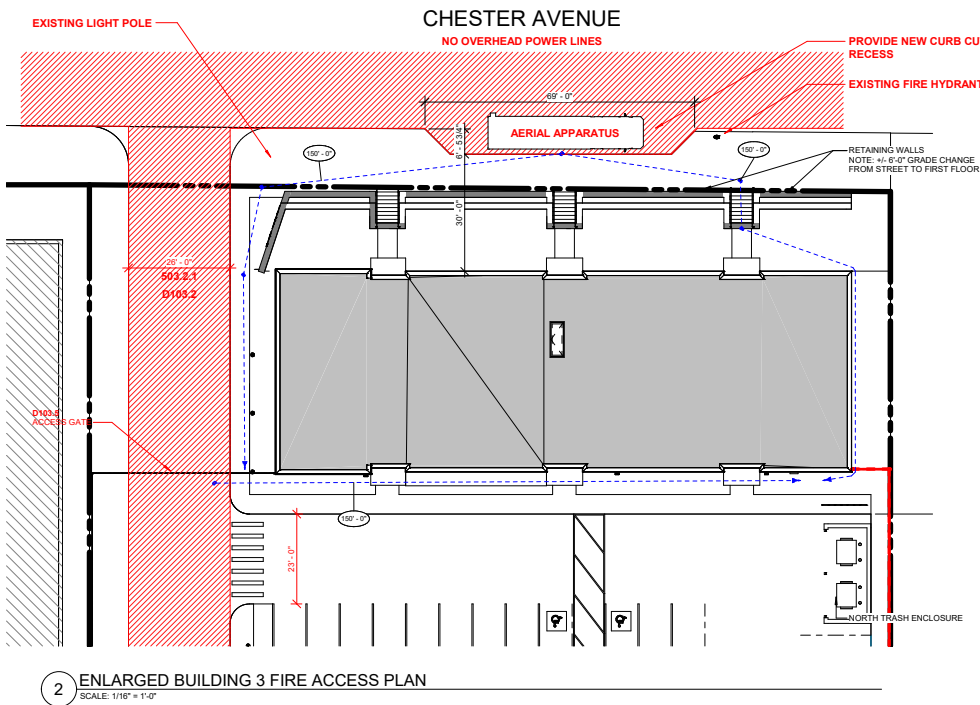


SITE ZONING DATA			
PROJECT INFORMATION			
PROJECT NAME:	ENTER PROJECT NAME		
LAND USE CODE:	CITY OF CLEVELAND, OHIO CODE OF ORDINANCES, PART THREE: LAND USE CODE		
ZONING CODE:	CITY OF CLEVELAND, OHIO CODE OF ORDINANCES, PART THREE: LAND USE CODE, PART IIIB: LAND USE CODE - ZONING CODE		
ADDRESS:	4209 EUCLID AVE. CLEVELAND, OH 44115		
PARCEL NUMBER:	#10309010, #10309047		
DISTRICT NAME:	MMUD-1 (EUCLID), MMUD-4 (CHESTER WEST)		
ZONING CODE:	Midtown Mixed-Use District		
USE DISTRICT:	Midtown Mixed-Use District		
AREA DISTRICT:	-		
HEIGHT DISTRICT:	3, 0		
LANDMARK DISTRICT:	IF APPLICABLE		
HISTORIC DISTRICT:	IF APPLICABLE		
SPECIAL DISTRICT:	IF APPLICABLE		
BUILDING METRICS			
EXISTING USES/OCCUPANCY:	4560 - COMM PARKING LOT		
PROPOSED USES/OCCUPANCY:	4070 - 4 STORY ELEVATOR APTS 4020 - WALK-UP APTS		
<b>BUILDING AREA BY USE (GROSS/NET):</b>			
BUILDING 1 COMMERCIAL:	1,959 SF +/-		
BUILDING 1 RESIDENTIAL:	38,624 SF +/-	( 7,282 SF First Floor Footprint)	
BUILDING 2 RESIDENTIAL:	43,933 SF +/-	(14,279 SF First Floor Footprint)	
BUILDING 3 RESIDENTIAL:	22,316 SF +/-	( 7,481 SF First Floor Footprint)	
TOTAL FOOT PRINT:	29,042 SF +/-	(First Floor Footprint)	
TOTAL SQUARE FOOTAGE:	106,832 SF +/-	(Total Building)	
SITE ACREAGE:	2.7047 ACRES	(117,815 SF)	
ZONING STANDARDS AND RESTRICTIONS			
BUILDING REQUIREMENTS			
	CHAPTER	REQUIRED	PROPOSED
MINIMUM LOT COVERAGE (BUILDINGS)	---	TBD	TBD
MINIMUM LANDSCAPE AREA:	---		
BUILDING HEIGHT REQUIREMENTS	344.07		
HEIGHT LIMIT (STORIES):		EUCLID: 3 STORIES MIN. CHESTER: NONE	EUCLID: 4 STORIES CHESTER: 3 STORIES
HEIGHT LIMIT (FEET):		EUCLID: 115 FT CHESTER: 60 FT	EUCLID: 4 STORIES CHESTER: 3 STORIES
BUILDING FRONATGE REQUIREMENTS	344.06		
FRONTING PRINCIPAL STREET:		EUCLID: 80% CHESTER: 50%	EUCLID: 95% CHESTER: 72%
FRONTING INTERIOR SIDE STREETS:		50%	
BUILDING SETBACK REQUIREMENTS:	344.05		
FRONT YARD: TO ANY FRONT PROPERTY LINE		EUCLID: NONE MIN. / 10 FT MAX. CHESTER: 20 FT MIN. / 30 FT MAX.	EUCLID: NONE CHESTER: 20' - 5'
SIDE YARD:		EUCLID: 25 FT (RES DISTRICT) NONE ALL OTHERS CHESTER: 25 FT (RES DISTRICT) 10 FT ALL OTHERS	EUCLID: 5' - 1' CHESTER: 10' - 0'
REAR YARD:		EUCLID: 25 FT (RES DISTRICT) NONE ALL OTHERS CHESTER: 25 FT (RES DISTRICT) 10 FT ALL OTHERS	>25' - 0'
<b>BUILDING NOTES:</b> 344.05 NOTE (2): Parcels with projects extending the full length from Euclid to either Chester or Carnegie will be required to use only the Building and Parking Setback Requirements in this Schedule that apply to the Euclid side of the project.  344.06 NOTE (1): Parcels with projects extending the full length from Euclid to either Chester or Carnegie will be required to use only the Minimum Building Requirements in this Schedule that apply to the Euclid side of the project			
PARKING REQUIREMENTS			
PARKING SETBACK REQUIREMENTS:	TBD	REQUIRED	PROPOSED
FRONT YARD: TO ANY FRONT PROPERTY LINE	344.05	EUCLID: NONE MIN. / 10 FT MAX. CHESTER: 20 FT MIN. / 30 FT MAX.	NA
SIDE YARD/REAR YARD:		EUCLID: 10 FT (RES DISTRICT) 5 FT ALL OTHERS CHESTER: 10 FT (RES DISTRICT) 5 FT ALL OTHERS	5' - 0' SIDE YARD +/- 2' - 0' REAR YARD (VARIANCE REQUIRED)
MINIMUM SETBACK FROM BUILDING:			
<b>PARKING REQUIREMENTS (BY USE):</b>			
COMMERCIAL			
RESIDENTIAL			153
SITE REQUIREMENTS			
OFF STREET LOADING REQUIREMENTS:	TBD	REQUIRED	PROPOSED
PRINCIPAL STREET:	---	TBD	TBD
SECONDARY STREET:			

ARCHITECTURAL SITE PLAN  
SCALE: 1" = 40'-0"



FIRE ACCESS PLAN



BUILDING 1-3 INFORMATION:

CONSTRUCTION TYPE: VA  
FULLY SPRINKLERED

2021 INTERNATIONAL FIRE CODE

503 FIRE APPARATUS ACCESS ROADS

503.1.1 BUILDINGS AND FACILITIES.  
APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING HEREAFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION AND SHALL EXTEND TO WITHIN 40 FEET (12.2 M) OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.

(A) 503.2.1 DIMENSIONS  
FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET (6096 MM), EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES IN ACCORDANCE WITH PARAGRAPH (C)(6)(503.6) OF THIS RULE, AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES (4115 MM).

(D) 503.2.4 TURNING RADIUS  
THE REQUIRED TURNING RADIUS OF A FIRE APPARATUS ACCESS ROAD SHALL BE DETERMINED BY THE FIRE CODE OFFICIAL.

(E) 503.2.5 DEAD END  
DEAD-END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET (45.72 M) IN LENGTH SHALL BE PROVIDED WITH AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.

(G) 503.2.7 GRADE  
THE GRADE OF THE FIRE APPARATUS ACCESS ROAD SHALL BE WITHIN THE LIMITS ESTABLISHED BY THE FIRE CODE OFFICIAL BASED ON THE FIRE DEPARTMENT'S APPARATUS.

(H) 503.2.8 ANGLES OF APPROACH AND DEPARTURE  
THE ANGLES OF APPROACH AND DEPARTURE FOR FIRE APPARATUS ACCESS ROADS SHALL BE WITHIN THE LIMITS ESTABLISHED BY THE FIRE CODE OFFICIAL BASED ON THE FIRE DEPARTMENT'S APPARATUS.

(I) 503.6 SECURITY GATES  
THE INSTALLATION OF SECURITY GATES ACROSS A FIRE APPARATUS ACCESS ROAD SHALL BE APPROVED BY THE FIRE CHIEF, WHERE SECURITY GATES ARE INSTALLED, THEY SHALL HAVE AN APPROVED MEANS OF EMERGENCY OPERATION. THE SECURITY GATES AND THE EMERGENCY OPERATION SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 305 AS LISTED IN RULE 1901.7-80 OF THE ADMINISTRATIVE CODE. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F2200 AS LISTED IN RULE 1901.7-80 OF THE ADMINISTRATIVE CODE.

507.5.1 WHERE REQUIRED.  
WHERE A PORTION OF THE FACILITY OR BUILDING HEREAFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION IS MORE THAN 400 FEET (122 M) FROM A HYDRANT OR A FIRE APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY OR BUILDING, ON-SITE FIRE HYDRANTS AND MAINS SHALL BE PROVIDED WHERE REQUIRED BY THE FIRE CODE OFFICIAL.

EXCEPTIONS:  
1. FOR GROUP R-3 AND GROUP U OCCUPANCIES, THE DISTANCE REQUIREMENT SHALL BE 600 FEET (183 M).  
2. FOR BUILDINGS EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE DISTANCE REQUIREMENT SHALL BE 600 FEET (183 M).

APPENDIX D. SECTION D103 MINIMUM SPECIFICATIONS

D103.2 GRADE  
FIRE APPARATUS ROADS SHALL NOT EXCEED 10% GRADE.

D103.4 DEAD-ENDS  
DEAD-END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET SHALL BE PROVIDED WITH WIDTH AND TURNAROUND PROVISIONS IN ACCORDANCE WITH TABLE D103.4.

D103.5 FIRE APPARATUS ACCESS ROAD GATES.  
GATES SECURING THE FIRE APPARATUS ACCESS ROADS SHALL COMPLY WITH ALL OF THE FOLLOWING CRITERIA:

1. WHERE A SINGLE GATE IS PROVIDED, THE GATE WIDTH SHALL BE NOT LESS THAN 20 FEET (6096 MM), WHERE A FIRE APPARATUS ROAD CONSISTS OF A DIVIDED ROADWAY, THE GATE WIDTH SHALL BE NOT LESS THAN 12 FEET (3658 MM).
2. GATES SHALL BE OF THE HORIZONTAL SWING, HORIZONTAL SLIDE, VERTICAL LIFT OR VERTICAL PIVOT TYPE.
3. CONSTRUCTION OF GATES SHALL BE OF MATERIALS THAT ALLOW MANUAL OPERATION BY ONE PERSON.
4. GATE COMPONENTS SHALL BE MAINTAINED IN AN OPERATIVE CONDITION AT ALL TIMES AND REPLACED OR REPAIRED WHEN DEFECTIVE.
5. ELECTRIC GATES SHALL BE EQUIPPED WITH A MEANS OF OPENING THE GATE BY FIRE DEPARTMENT PERSONNEL FOR EMERGENCY ACCESS. EMERGENCY OPENING DEVICES SHALL BE APPROVED BY THE FIRE CODE OFFICIAL.
6. METHODS OF LOCKING SHALL BE SUBMITTED FOR APPROVAL BY THE FIRE CODE OFFICIAL.
7. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 305.
8. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F2200.

D106.1 WHERE REQUIRED.  
WHERE THE VERTICAL DISTANCE BETWEEN THE GRADE PLANE AND THE HIGHEST ROOF SURFACE EXCEEDS 30 FEET, APPROVED AERIAL FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED.

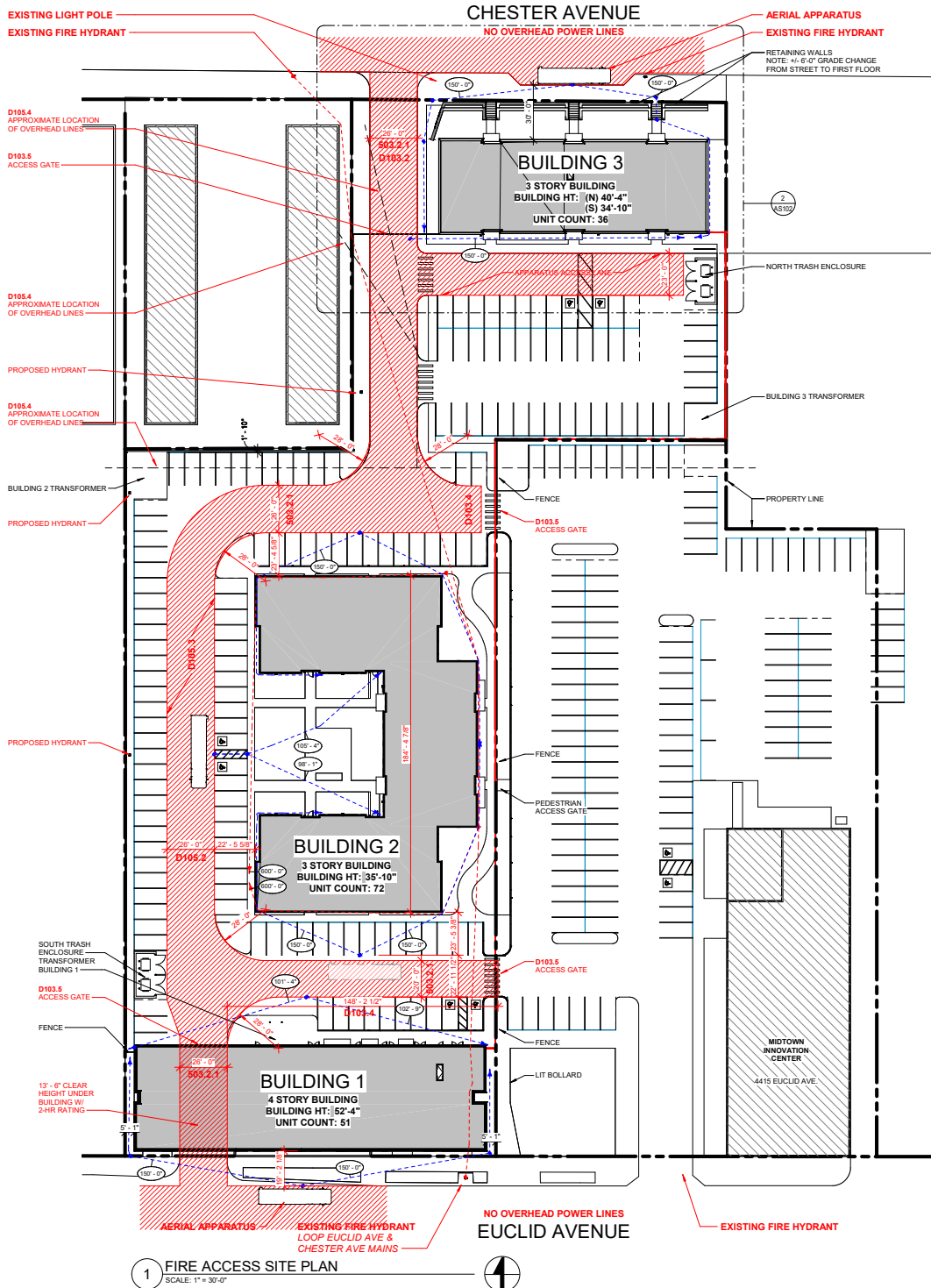
D106.2 WIDTH.  
AERIAL FIRE APPARATUS ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 28 FEET, EXCLUSIVE OF SHOULDERS, IN THE IMMEDIATE VICINITY OF THE BUILDING OR PORTION THEREOF.

D106.3 PROXIMITY TO BUILDING.  
ONE OR MORE OF THE REQUIRED ACCESS ROUTES MEETING THIS CONDITION SHALL BE LOCATED NOT LESS THAN 10 FEET (3072 MM) AND NOT GREATER THAN 30 FEET (9144 MM) FROM THE BUILDING, AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING, THE SIDE OF THE BUILDING ON WHICH THE AERIAL FIRE APPARATUS ACCESS ROAD IS POSITIONED SHALL BE APPROVED BY THE FIRE CODE OFFICIAL.

D106.4 OBSTRUCTIONS.  
OVERHEAD UTILITY AND POWER LINES SHALL NOT BE LOCATED OVER THE AERIAL FIRE APPARATUS ACCESS ROAD OR BETWEEN THE AERIAL FIRE APPARATUS ROAD AND THE BUILDING. OTHER OBSTRUCTIONS SHALL BE PERMITTED TO BE PLACED WITH THE APPROVAL OF THE FIRE CODE OFFICIAL.

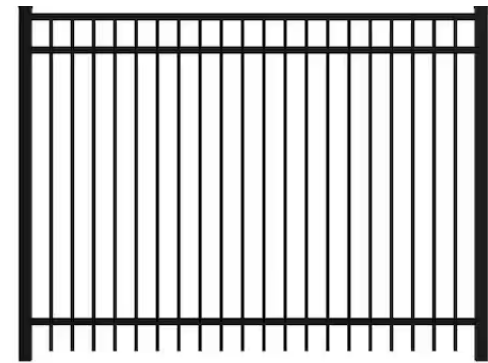
D106.5 PROJECTS HAVING MORE THAN 100 DWELLING UNITS.  
MULTIPLE-FAMILY RESIDENTIAL PROJECTS HAVING MORE THAN 100 DWELLING UNITS SHALL BE EQUIPPED THROUGHOUT WITH TWO SEPARATE AND APPROVED FIRE APPARATUS ACCESS ROADS.

EXCEPTION: PROJECTS HAVING UP TO 200 DWELLING UNITS SHALL HAVE NOT FEWER THAN ONE APPROVED FIRE APPARATUS ACCESS ROAD WHERE ALL BUILDINGS ARE EQUIPPED THROUGHOUT WITH APPROVED AUTOMATIC SPRINKLER SYSTEMS INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2.





ILLUSTRATIVE SITE PLAN



METAL PICKET FENCE, BLACK



COMPOSITE WOOD SLAT FENCE,  
WALNUT AND BLACK





PLANTING



GTI - Honey Locust



OV - Hophornbeam



CV - Fringetree



AG - Serviceberry



ACON - Concolor Fir



MAL - Adirondack Crabapple



PLANTING



TOE - Emerald Arborvitae



BUX - Boxwood



JGO - Grey Owl Juniper



JCBP - Blue Pacific Juniper



SPA - Double Play Spirea



HLL - Little Lime Hydrangea



HPQF - Quick Fire Hydrangea



IT - Little Henry Itea



SPO - Prairie Dropseed



SW - Sweet Woodruff



CHL - Northern Sea Oats



PAN - Heavy Metal Switchgrass



GER - Cranesbill Geranium



NEP - Catmint



AREA PLANS

BUILDING 1 - Gross Building Area		
Architectural Rentable Area Type		Area
LEVEL 1		
CIRCULATION AND CORE		1,465 SF
LOBBY AND AMENITY		3,979 SF
RETAIL		1,931 SF
LEVEL 2.0		
CIRCULATION AND CORE		1,602 SF
RENTABLE		9,274 SF
LEVEL 3.0		
CIRCULATION AND CORE		1,602 SF
RENTABLE		9,274 SF
LEVEL 4.0		
CIRCULATION AND CORE		1,602 SF
RENTABLE		9,274 SF
Grand total		40,003 SF

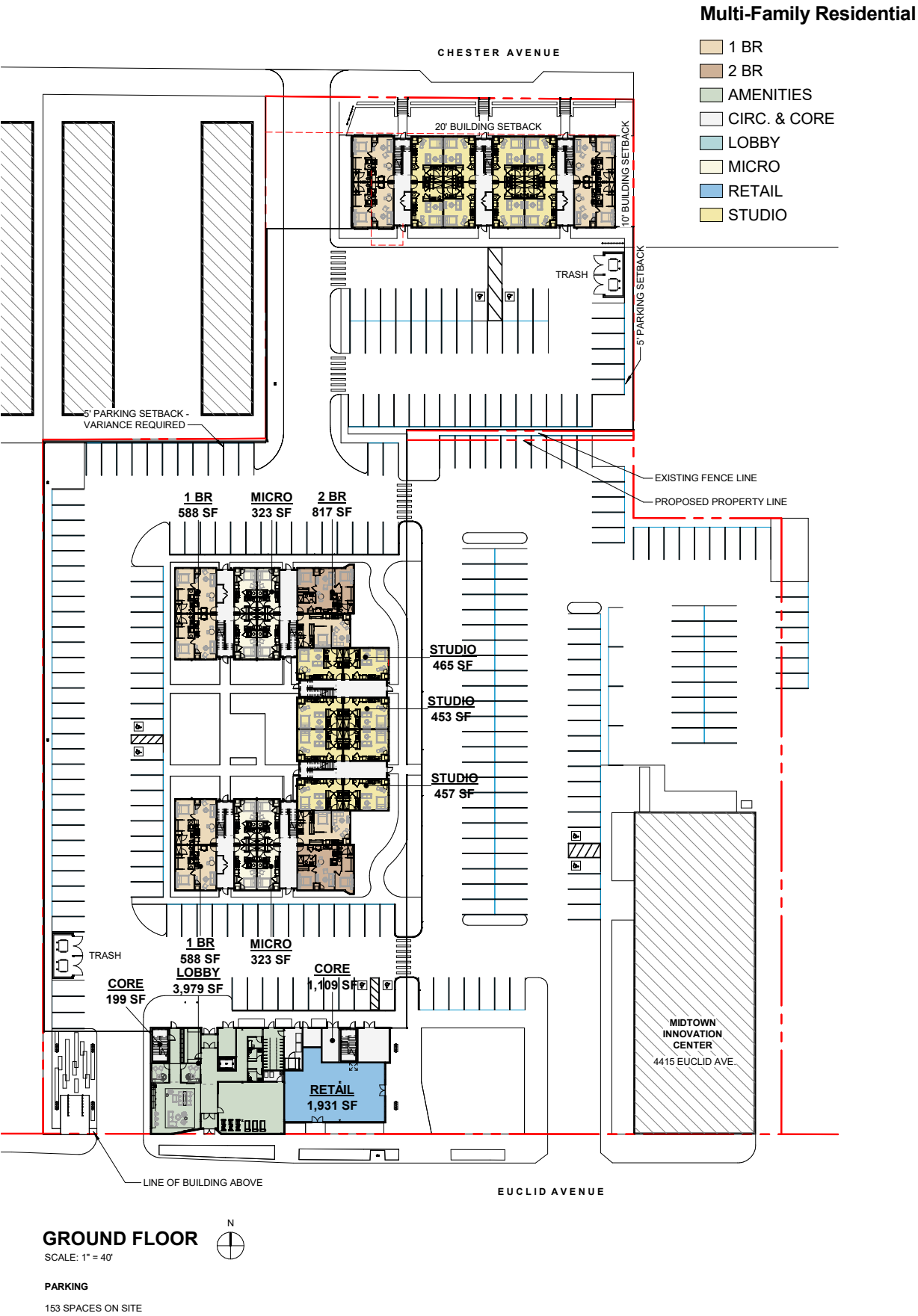
BUILDING 2 - Gross Building Area		
Architectural Rentable Area Type		Area
LEVEL 1		
CIRCULATION AND CORE		2,954 SF
RENTABLE		11,342 SF
LEVEL 2.0		
CIRCULATION AND CORE		1,589 SF
RENTABLE		13,238 SF
LEVEL 3.0		
CIRCULATION AND CORE		1,589 SF
RENTABLE		13,238 SF
Grand total		43,951 SF

BUILDING 3 - Gross Building Area		
Architectural Rentable Area Type		Area
LEVEL 1		
CIRCULATION AND CORE		1,398 SF
RENTABLE		6,035 SF
LEVEL 2.0		
CIRCULATION AND CORE		701 SF
RENTABLE		6,732 SF
LEVEL 3.0		
CIRCULATION AND CORE		701 SF
RENTABLE		6,732 SF
Grand total		22,300 SF

BUILDING		GROSS AREA
BUILDING 1		40,003 SF
BUILDING 2		43,951 SF
BUILDING 3		22,300 SF
Grand total		106,255 SF

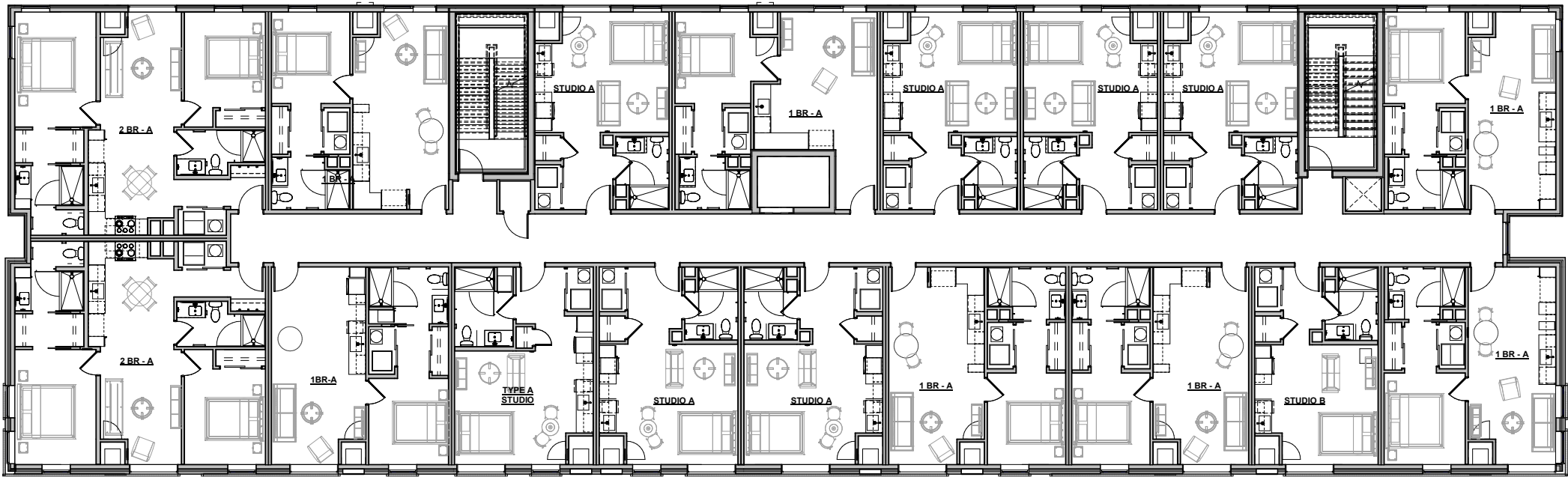
RENTABLE AREA		
BUILDING	RENTABLE	UNIT COUNT
BUILDING 1	27,822 SF	85
BUILDING 2	37,819 SF	96
BUILDING 3	19,500 SF	72
Grand total	85,141 SF	253

Total Building Units		
Multi-Family Residential Area Type		Count
1 BR	127	50%
2 BR	18	7%
MICRO	25	10%
STUDIO	83	33%
Grand total: 253		

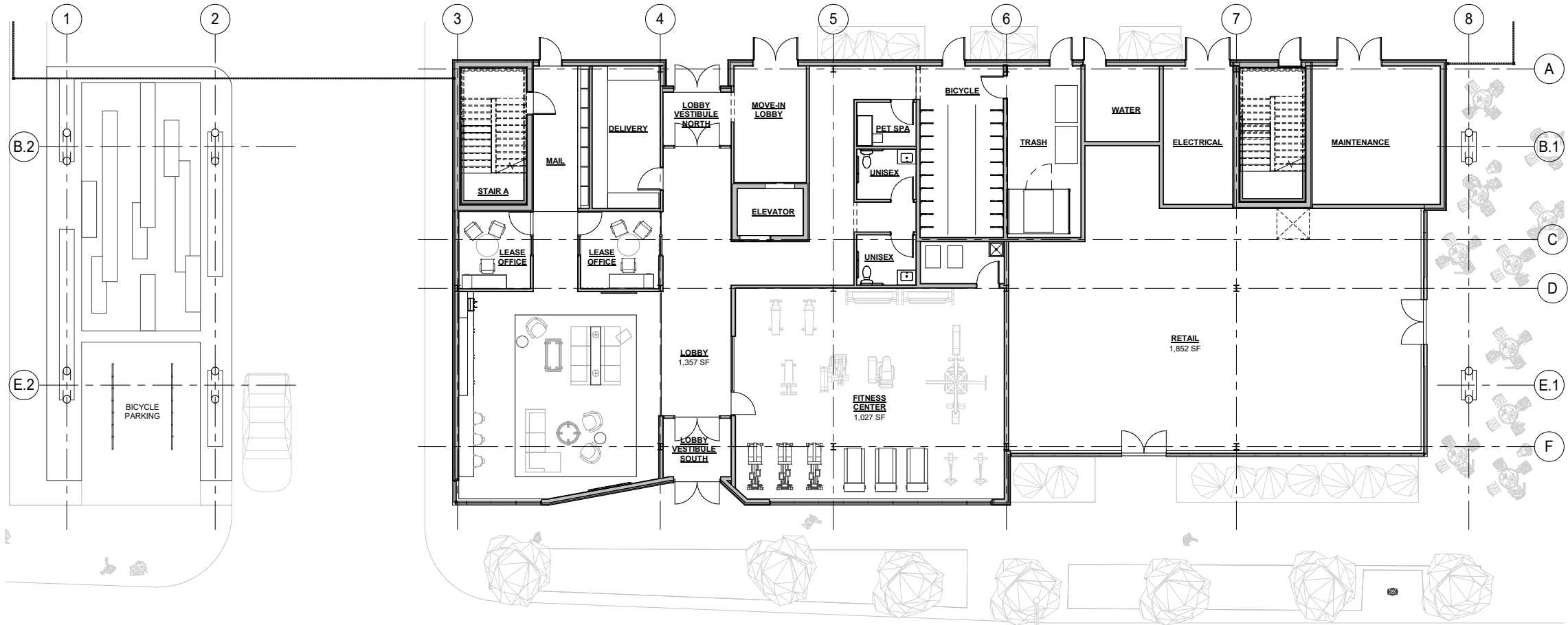




BUILDING 1 FLOOR PLANS



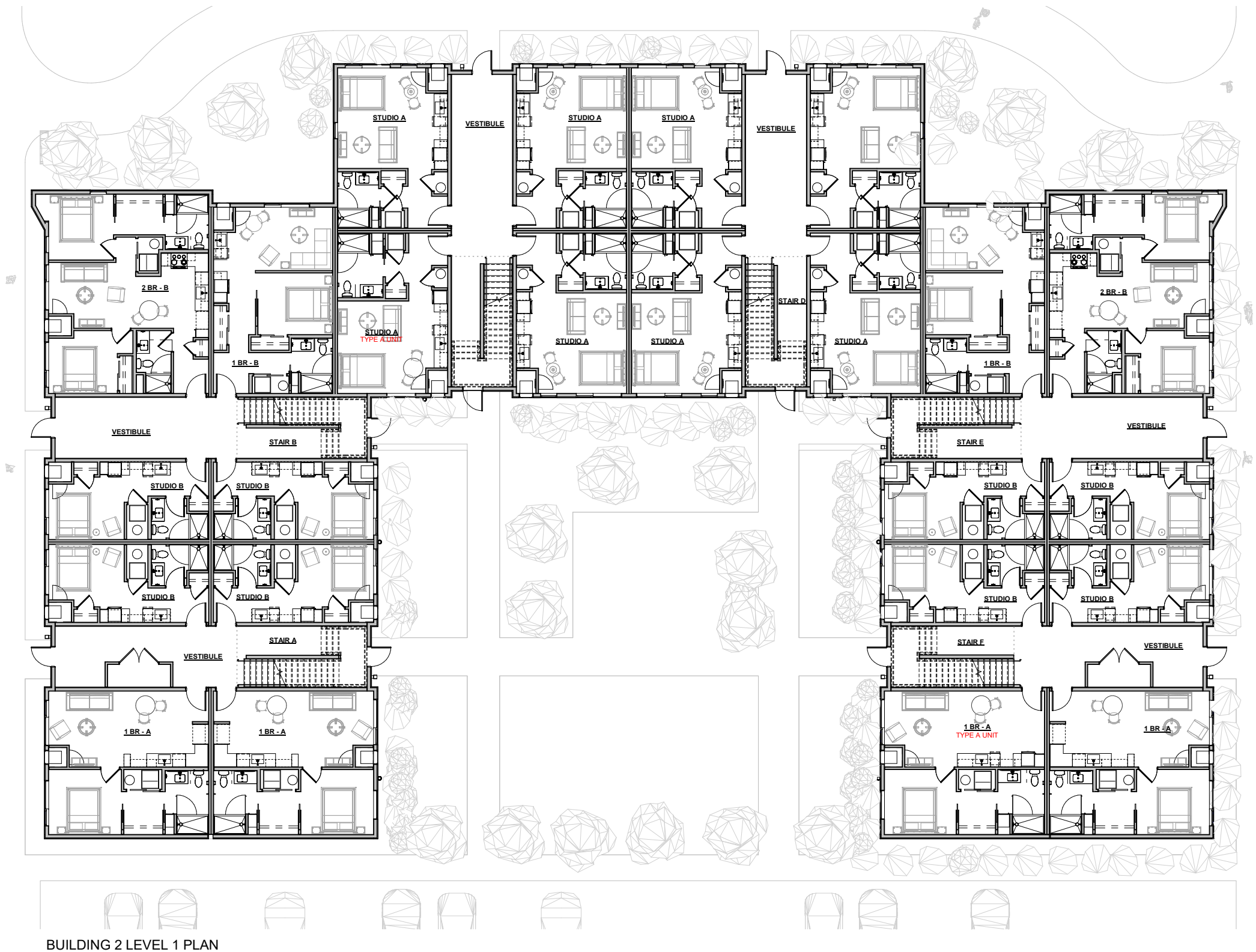
BUILDING 1 LEVEL 2-4 PLAN



BUILDING 1 LEVEL 1 PLAN

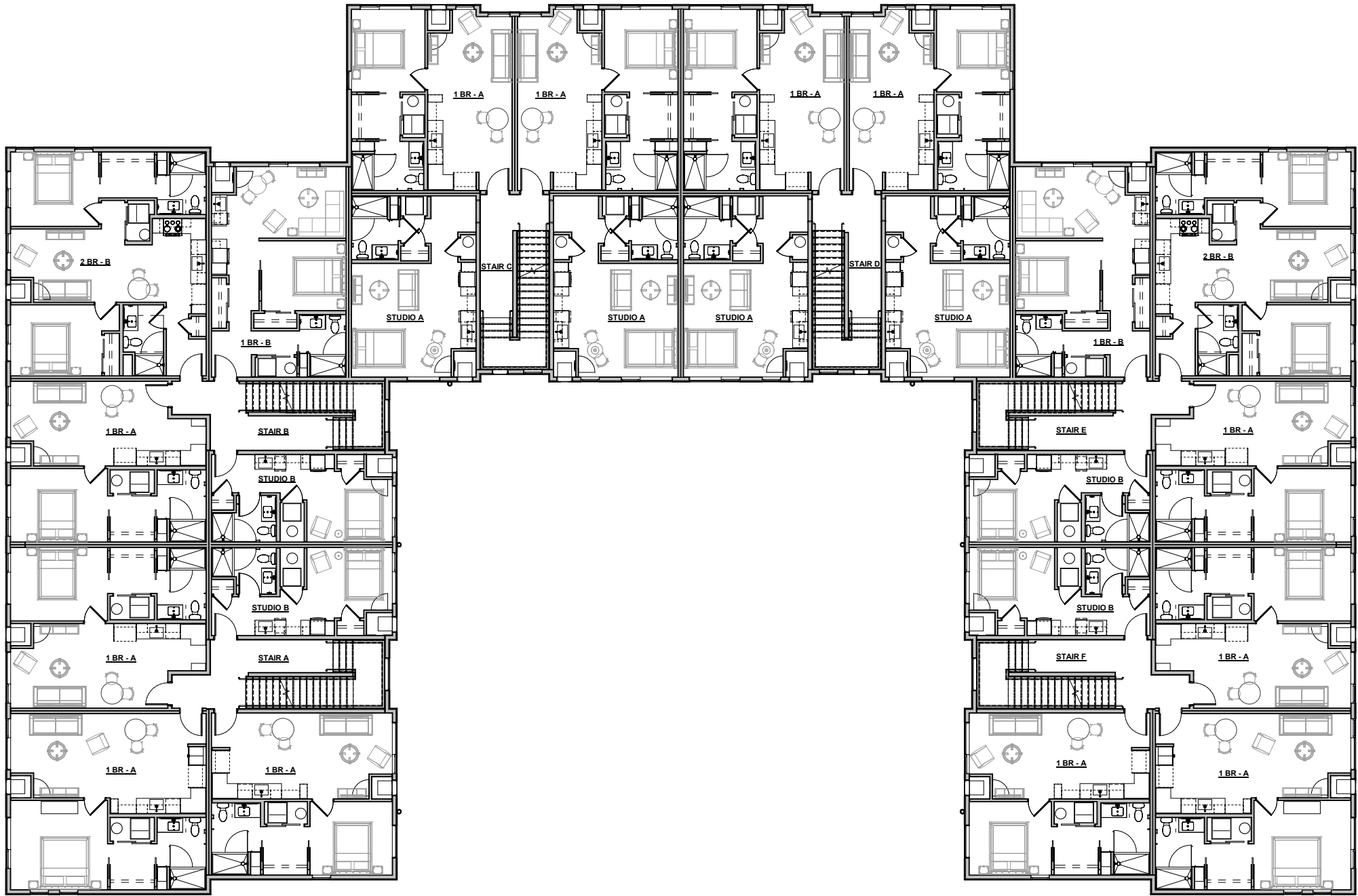


BUILDING 2 FLOOR PLANS





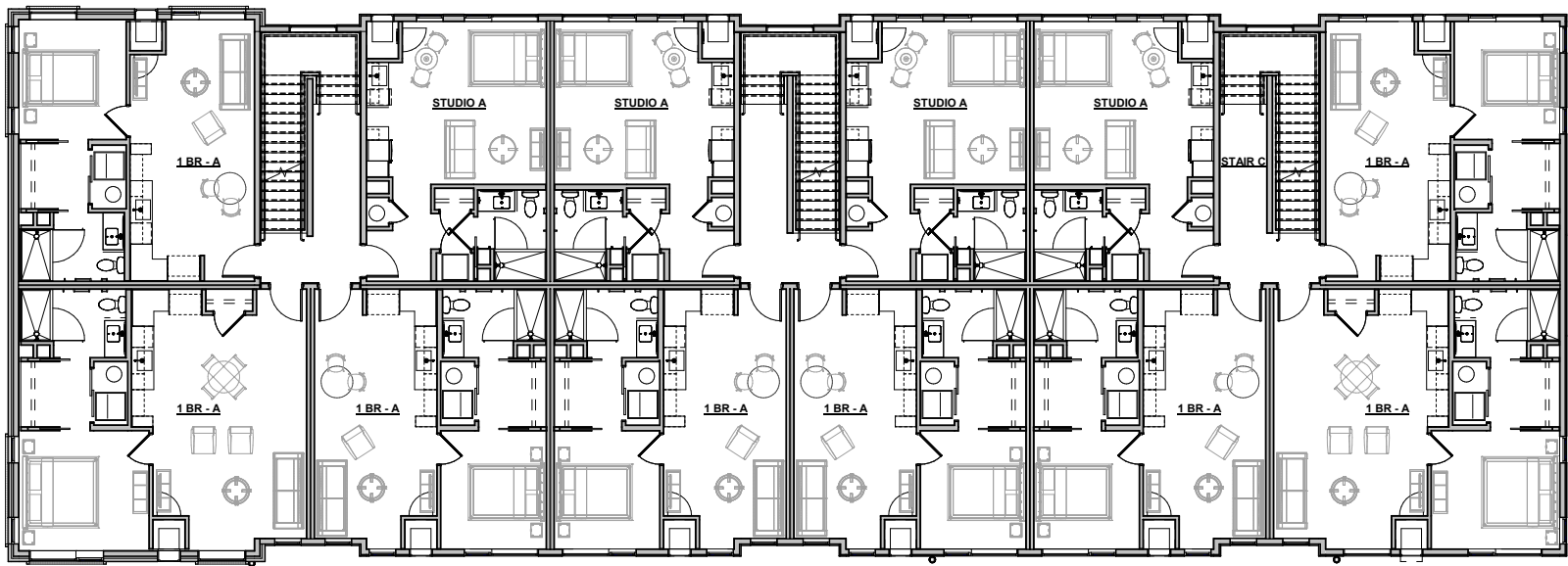
BUILDING 2 FLOOR PLANS



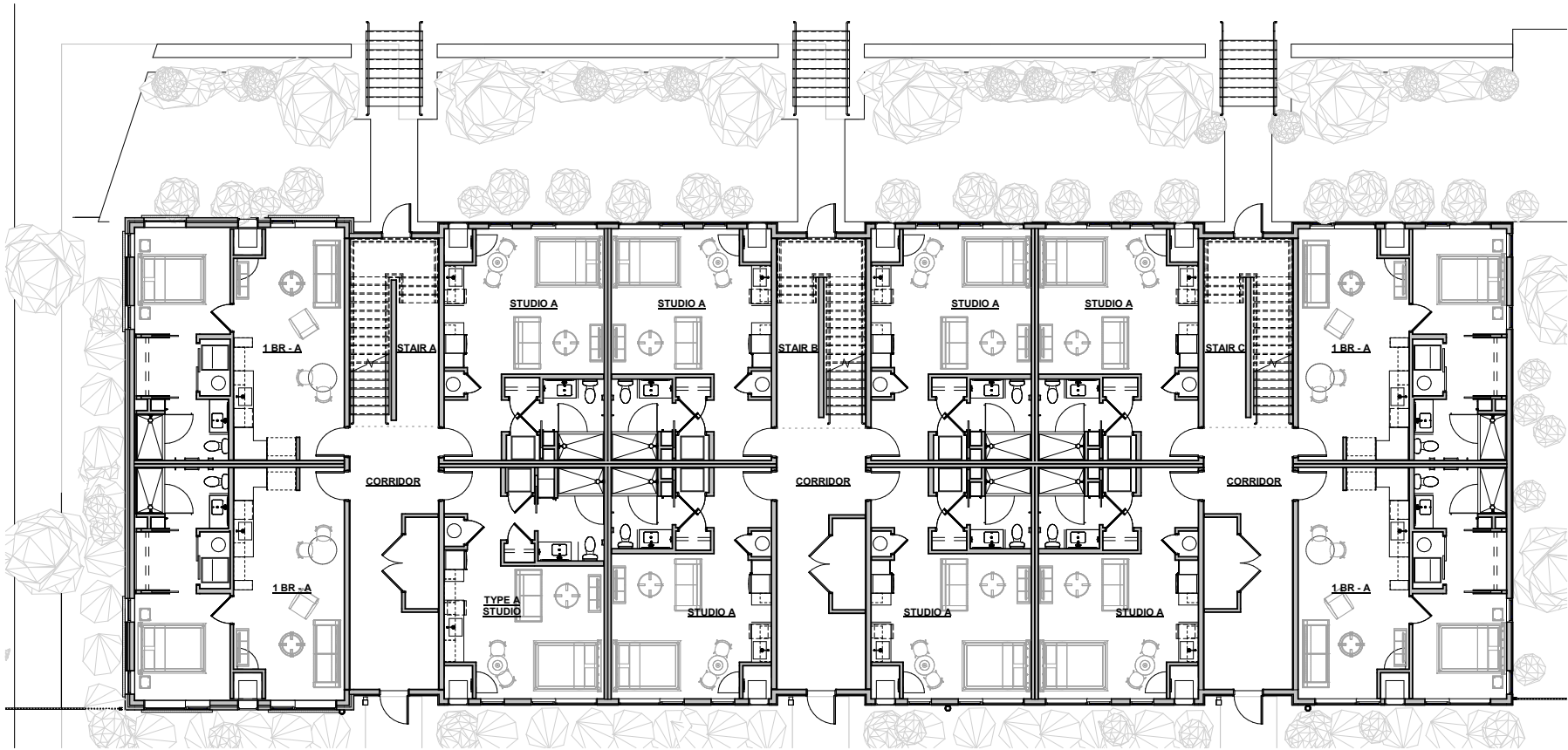
BUILDING 2 LEVEL 2-3 PLANS



BUILDING 3 FLOOR PLANS



BUILDING 3 LEVEL 2-3 PLAN



BUILDING 3 LEVEL 1 PLAN



BUILDING 1 ELEVATIONS



BUILDING 1 NORTH ELEVATION



BUILDING 1 EAST ELEVATION



BUILDING 1 WEST ELEVATION



BUILDING 1 SOUTH ELEVATION



BUILDING 2 ELEVATIONS



BUILDING 2 EAST ELEVATION



BUILDING 2 NORTH ELEVATION



BUILDING 2 SOUTH ELEVATION



BUILDING 2 ELEVATIONS



BUILDING 2 WEST ELEVATION



BUILDING 2 COURTYARD SOUTH ELEVATION



BUILDING 2 COURTYARD NORTH ELEVATION



BUILDING 3 ELEVATIONS



BUILDING 3 NORTH ELEVATION



BUILDING 3 WEST ELEVATION



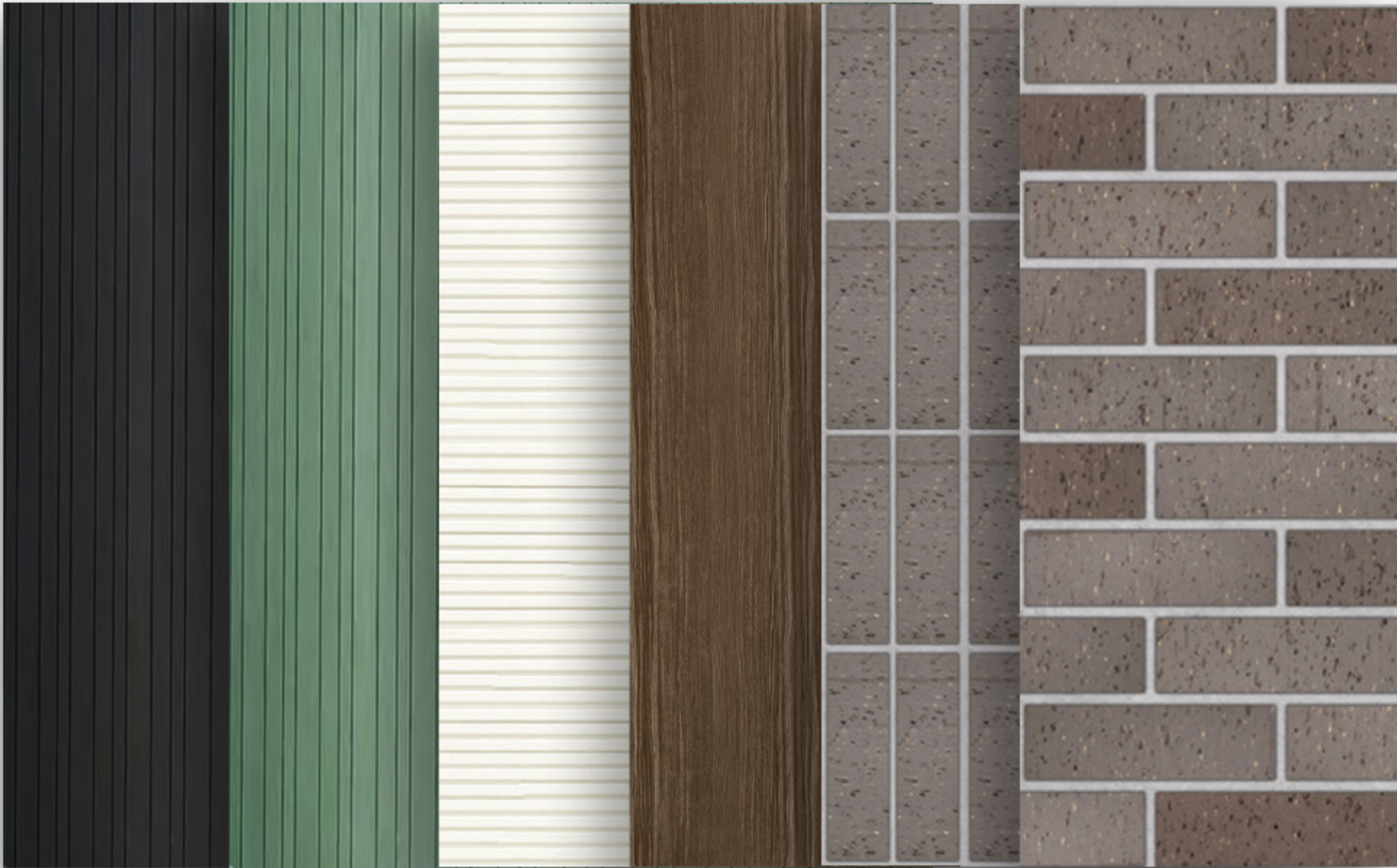
BUILDING 3 EAST ELEVATION



BUILDING 3 SOUTH ELEVATION



MATERIAL PALETTE INSPIRATION





CONCEPT VIEW | BUILDING 1





CONCEPT VIEW | BUILDING 1





CONCEPT VIEW | BUILDING 1





CONCEPT VIEW | BUILDING 1





CONCEPT VIEW | BUILDING 2





CONCEPT VIEW | BUILDING 2





CONCEPT VIEW | BUILDING 2





CONCEPT VIEW | BUILDING 2





CONCEPT VIEW | BUILDING 3





CONCEPT VIEW | BUILDING 3





vocon.

LET YOUR  
SPACES SPEAK.



# Cleveland City Planning Commission

## Staff Report

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

July 18, 2025



## **EC2025-020** – Signet Housing Project

July 18, 2025

ECDRAC recommended schematic approval on 7/10/25, and requested the following to be presented at final review:

- Additional studies on parking count and on level of detailing along Euclid Ave building
  - Comment regarding window pattering at the end of each building, showing each end of the building in more rendering angles.
-



# Cleveland City Planning Commission

## Special Presentations – Public Art

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

July 18, 2025



## **EC2025-016** – E 128th Crosswalk Murals

July 18, 2025

Project Address: Buckeye & E. 128th St. and E. 128<sup>th</sup> St. & Drexmore

Type: Public Art

Project Representative: Josiah Britt, CollectivExpress Incorporated

Approval: Final

---

**Wards 4 & 6: Council Members  
Gray & Griffin**

**SPA: Buckeye-Shaker  
Square**

**CDC: Burten, Bell, Carr  
Dev. Corp**



# E.128th Street Crosswalk Mural Proposal

Summer 2025

by Collectivexpress/Josiah Britt



[collectivexpress@gmail.com](mailto:collectivexpress@gmail.com)

[www.collectivexpress.org](http://www.collectivexpress.org)

216-224-4831



# Scope of Work:

## Crosswalk Murals(2).

Design and paint decorative ground murals, and provide youth participation opportunities during installation at two crosswalks along E.128th street; one at Buckeye Rd. and one at Drexmore Rd.

## Timeline

Start in early summer 2025. Project is estimated to take 3-4 weeks to complete.



## Artistic Inspiration

Kente cloth, a vibrant and symbolic fabric from West Africa, holds deep significance in both African and African American cultures. Traditionally woven from silk or cotton, it features intricate patterns and colors, each representing values like royalty, strength, and fertility. For African Americans, Kente became a powerful symbol of cultural pride and connection to their African roots, especially during the Civil Rights Movement, when it was embraced as a visual representation of heritage and unity.



# Existing Anna Arnold art at Amos Norwood Park



Black & white  
Kente cloth  
inspiration





Other black & white  
Kente/mud cloth  
examples.





## E.128th at Buckeye Rd Crosswalk





E.128th at  
Buckeye Rd  
Crosswalk





Rough  
mock-up





# E.128th at Drexmore Rd Crosswalk





# E.128th at Drexmore Rd Crosswalk





# Rough mock-up





# Team:

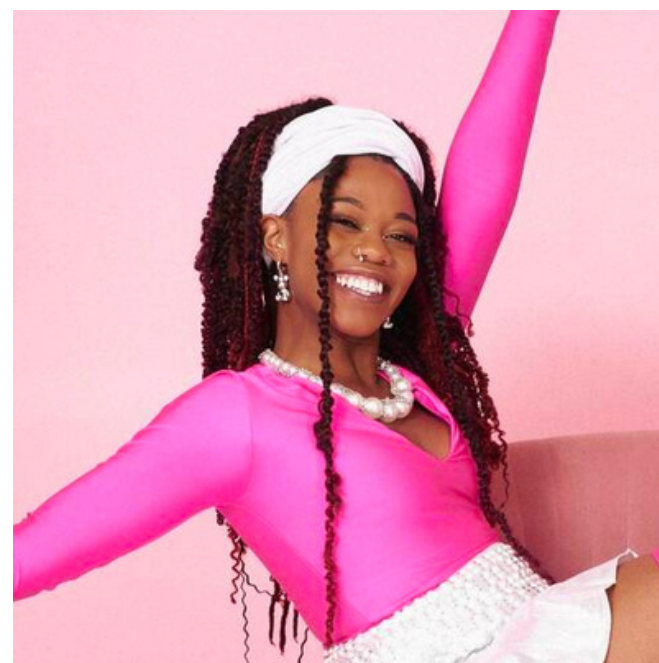
## Josiah Britt - CollectivExpress

- Project Designer
- Project Manager
- Project Coordinator
- Youth Engagement



## Lacy Talley - Freelance Artist

- Crosswalk Co-Designer
- Crosswalk Muralist
- Youth Engagement



**TOTAL BUDGET: \$13,000**



# Team Bio's:

**Josiah Britt** is founder and director of CollectivExpress Incorporated, an arts-engagement 501(c)3 responsible for hundreds of community and youth education programs across Cleveland, OH. In Buckeye, he has had the pleasure to serve as artistic director of the E.130th Mark Your Mark project/mural, Moreland's Festival, and Shaker Square vision plan activities.

**Lacy Talley** is a highly in-demand visual artist from Cleveland, OH, known for her afrocentric themes. She has collaborated with many brands like Spotify, Cadillac, Karamu House, and she designed the Kareem Abdul-Jabbar Social Justice Champion Award.



[collectivexpress@gmail.com](mailto:collectivexpress@gmail.com)

[www.collectivexpress.org](http://www.collectivexpress.org)

216-224-4831





## TOP-OF-THE-LINE STRIPING STARTS WITH PRO-PARK®.

Pro-Park is an excellent choice for any facility with a parking area, from shopping centers and recreation facilities to office and apartment complexes. This premium waterborne acrylic alkyd striping paint has excellent chemical



and dirt resistance and provides exceptional adhesion to concrete and asphalt surfaces. It is the perfect solution for marking parking lots, freshening traffic lanes and enhancing curb appeal.

### PRO-PARK KEY BENEFITS

- Highly visible formula is ideal for highlighting curbs, identifying handicapped and emergency zones and defining traffic boundaries.
- Meets the most stringent VOC regulations.
- Compatible with airless line strippers, and can easily be applied with a brush or roller for small jobs.
- Delivers long-lasting performance.
- Available in white, yellow, blue, firelane red and black in 1-gallon and 5-gallon containers.
- Readily available at 3,500 Sherwin-Williams stores every day — no need to place and store large orders.

### PRO-PARK IS BROUGHT TO YOU BY A NAME YOU KNOW AND TRUST.

For more than 145 years, Sherwin-Williams has provided contractors, builders, property managers, architects and designers with the trusted products they need to build their business and satisfy customers. Pro-Park is just one more way we bring you industry-leading paint technology — innovation you can pass on to your customers.

Plus with more than 3,500 stores and 1,800 sales representatives across North America, personal service and expert advice is always available near jobsites. Find out more about Pro-Park at your nearest Sherwin-Williams store or to have a sales representative contact you, call **800-524-5979**.





# Cleveland City Planning Commission

## Staff Report

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

July 18, 2025



## **EC2025-016** – E 128th Crosswalk Murals

July 18, 2025

ECDRAC recommended final approval with conditions on 7/10/25:

- Consider maintenance program for future
-



# Cleveland City Planning Commission

## Mandatory Referrals

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

July 18, 2025



**Ord. No. 810-2025** (introduced by Council Members Starr, Bishop, and Hairston – by departmental request) Authorizing the Director of Capital Projects to issue one or more permits to Greater Cleveland Regional Transit Authority to encroach into the public right-of-way of East 79<sup>th</sup> Street.

July 18, 2025





CITY OF CLEVELAND  
Mayor Justin M. Bibb

# City Planning Commission

Richard Switalski, PE

Administrative Manager

Mayor's Office of Capital Projects

Division of Engineering & Construction

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Friday, July 18, 2025





# Ordinance No. 810-2025

## Encroachment permit

Authorizes the Director of Capital Projects to issue to Greater Cleveland Regional Transit Authority to encroach into the public right-of-way of East 79<sup>th</sup> Street.

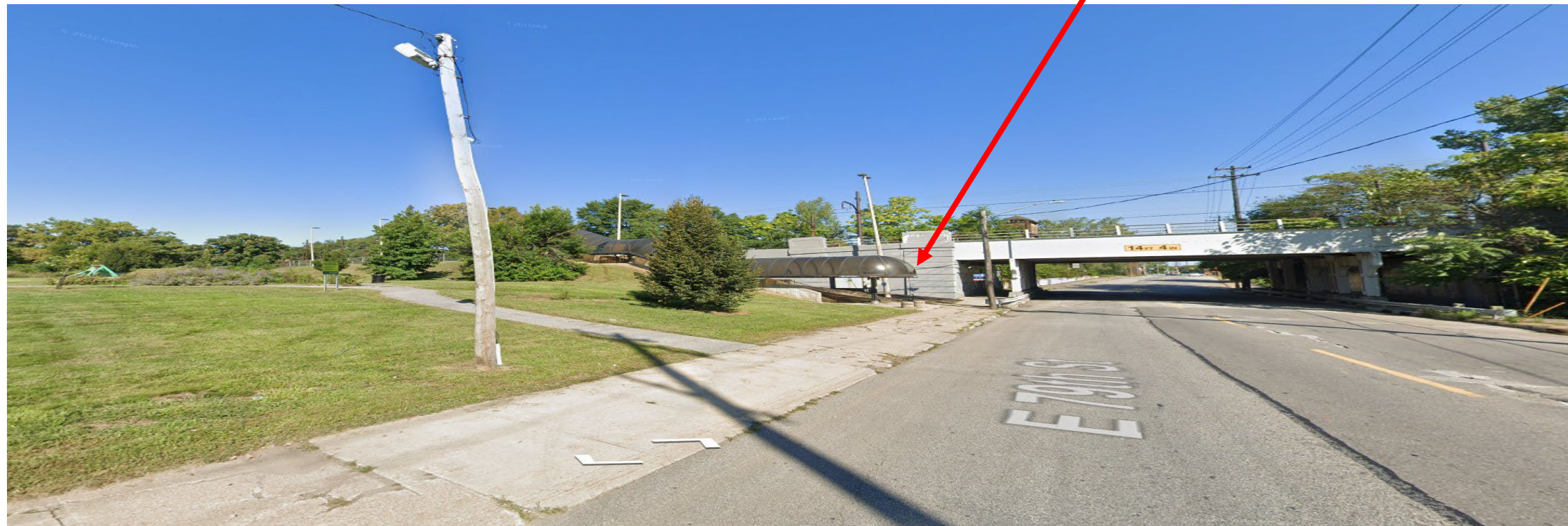
Encroachment permit is for installing and maintaining the East 79<sup>th</sup> Street Green and Blue Line Station Reconstruction.





# Ordinance No. 810-2025

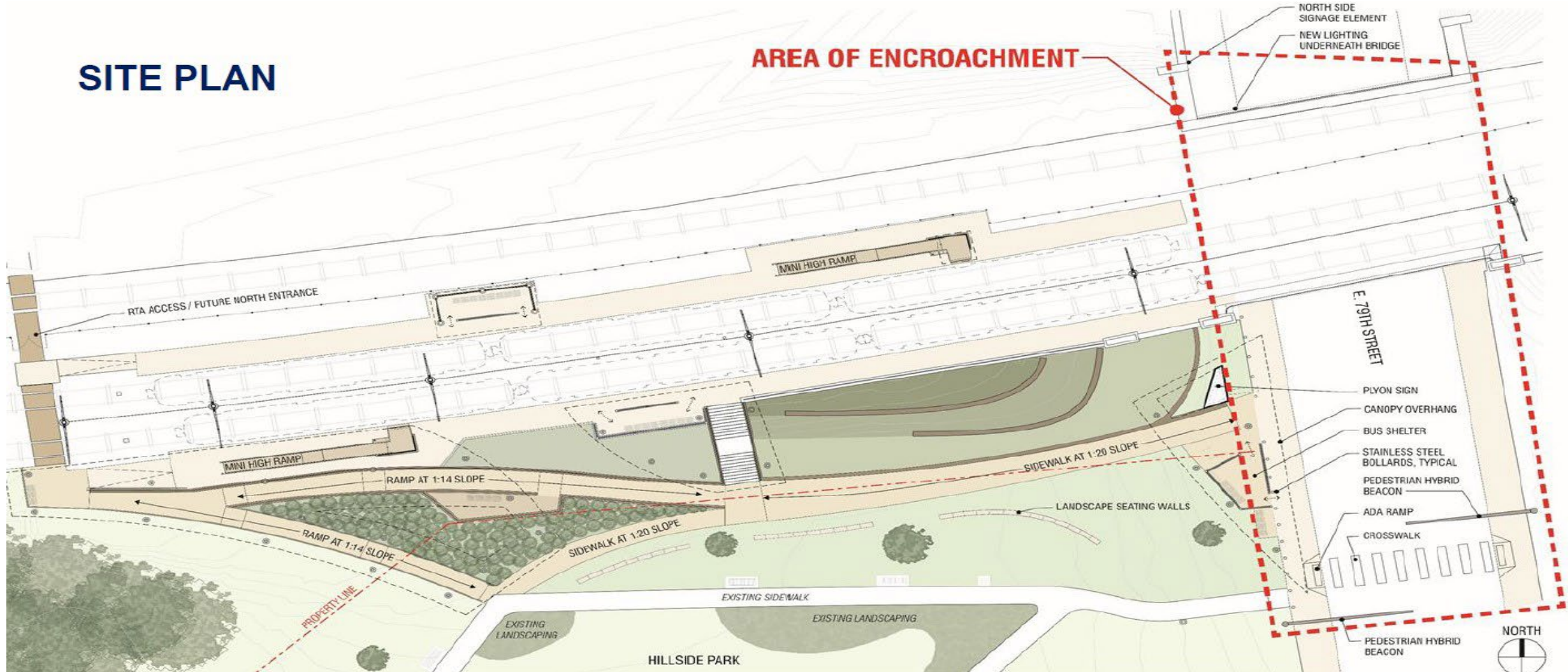
Location of encroachments: East 79<sup>th</sup> Street





# Ordinance No. 810-2025

## SITE PLAN





# Ordinance No. 810-2025





# Ordinance No. 810-2025





# Questions & Feedback?





**Ord. No. 818-2025** (introduced by Council Member Hairston – by departmental request) Designating Greater New Calvary Baptist Church (former First Congregational Church of Collinwood) as a Cleveland Landmark.

July 18, 2025





CITY OF CLEVELAND  
Mayor Justin M. Bibb

# Cleveland Landmark Designation

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*Nominated May 8, 2025*





# Cleveland Landmark Nomination

**Greater New Calvary Baptist Church (former First Congregational Church of Collinwood)**

**822 East 150<sup>th</sup> Street (aka 14904 Aspinwall Ave)**

*Ward #10 Councilperson Anthony Hairston*





# Location

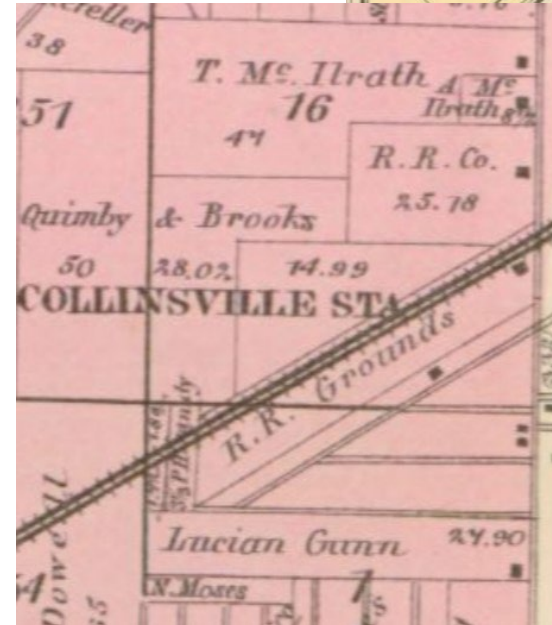




# Neighborhood History

- Frogsville
  - Lake Shore and Michigan Southern Railroad
    - Rail Stop #11 created in 1874
    - Collamer Station
    - Post office established in 1875
- What was formerly called Collamer station is now named Collinwood.
- Charles Collins
    - Chief Engineer

—What was formerly called Collamer station is now named Collinwood.





# Church History

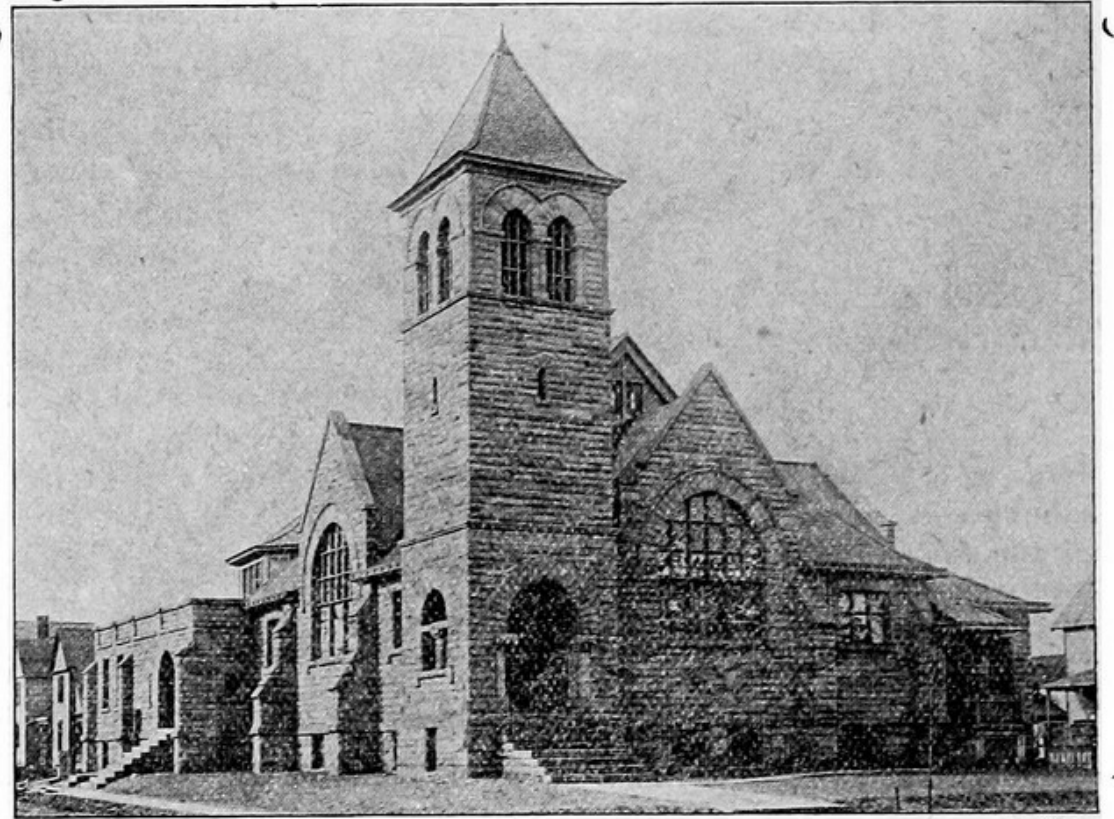
- Organized May 11, 1876
- Ford Chapel
- Dedicated March 14, 1878





# History

- May 12, 1891 – Deed filed
  - Manchester Ave cor. Mars Ave
- September 11, 1893 – Ground Breaking
- September 26, 1895 – First Service
- September 29, 1895 – dedication service
  - Seating capacity of 600



COLLINWOOD CHURCH.



# History

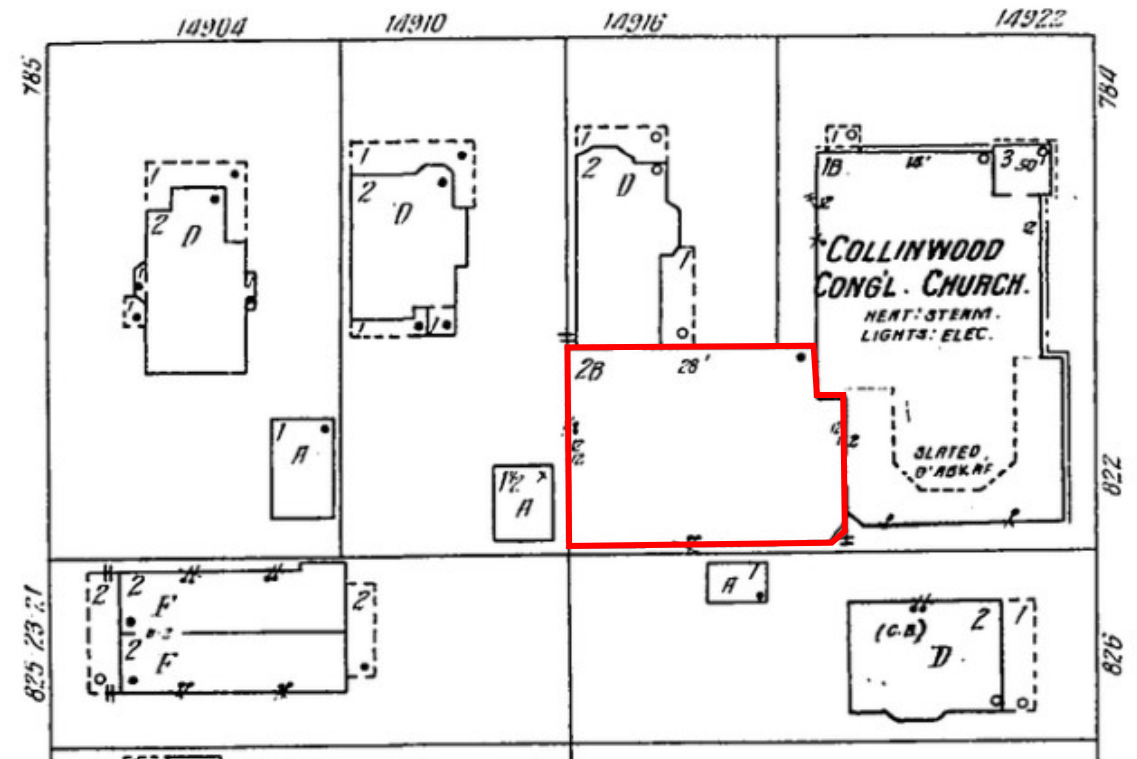
- Architect William Warren Sabin
- Active in Cleveland 1888-1923
- Bolton Avenue Presbyterian
  - Antioch Baptist Church





# History

- 1910 – Annexation of Collinwood by Cleveland
- 1914 – Vote to Incorporate as the Collinwood Congregational Church
- Desire to build a gymnasium
- Expansion to property next door
- Purchase to the Dr. Clayton and Grace McClenahan property
  - December 6, 1921





# History

- Architect Herman Maurer
- Cleveland Architect from 1908
  - Maurer and Mills (1909-1915)
  - Own practice through the 1950s
- East Glenville Methodist Episcopal Church
- 1926 – Church had 500 members and 600 in Sunday School





# Changes in the Church

- June 25, 1957
  - Merger of the Evangelical and Reformed Church, the General Council of the Congregational Christian Churches and the Afro-Christian Convention to create the United Church of Christ
  - Several years to complete the merger
  - Name change to Collinwood United Church of Christ (1961)
- Rev. Duane L. Day installed as pastor in January 1961



# Changes in the Neighborhood

- South Collinwood predominantly White into the mid 1960s
- Urban renewal in 1950s pushed Black residents further east
  - Brown v. Board of Education (1954)
  - Overcrowding in Black schools
  - Bussing children to White schools
  - Protests both Black and White

## *Here Are Main Groups in School Controversy*

Principal organizations in Cleveland's raging controversy over school integration area:

**BOARD OF EDUCATION**, the policy making body for the public school system. On Sept. 30 the board passed a resolution directing school administrators to achieve fullest possible integration of Negro children from overcrowded schools with white classes in so-called receiving schools. The children are transported by bus to the schools each day.

**UNITED FREEDOM MOVEMENT**, a federation of civil rights groups formed last summer. UFM leaders accused the school administration of de facto segregation and demanded that classes of transported children, mostly Negroes, be put in classes with white children at the receiving schools.

**COLLINWOOD IMPROVEMENT ASSOCIATION**, a neighborhood civic group formed to deal with Collinwood area problems in general. Its members strongly support the concept of the neighborhood school, which tends to send white children from white neighborhoods to predominantly white schools and Negro children from Negro neighborhoods to predominantly Negro schools. Many members are parents of children attending schools to which the overflow classes are sent.

**HAZELDELL PARENTS ASSOCIATION**, an organization of parents of children at this largely Negro school. It is working with UFM to bring about diffusion of Hazeldell children with those in the receiving schools.



# Changes in the Neighborhood and Church

- Clergy involved in protesting continued school segregation
- Accidental death of Rev. Bruce Klunder
  - April 1964
- Rev. Day served on the executive board of the Emergency Clergy Committee on Civil Rights
- Resentment over Day's involvement which drove a wedge in membership
- Day tendered his resignation in an effort to keep the congregation together



# Changes in the Neighborhood and Church

- South Collinwood Population 1965
  - Ethnic European – 90%
  - African American – 5-10%
- South Collinwood Population 1968
  - Ethnic European – 40%
  - African American – 30%
  - Appalachian Whites – 30%
- Church Membership
  - 1962 – 479
  - 1964 – 298
- Future in Doubt – 1966
  - Members leaving
  - Aging out
  - Increase in number of churches
  - Expenses
- January 18, 1967 –Vote to disband the church



# Property in Transition

- Collinwood Multi-Service Center
  - Cleveland Community Relations Board
  - Cleveland Center on Alcoholism
  - Juvenile Court
  - Planned Parenthood
  - Ohio Youth Commission
  - Collinwood Youth Association
  - American Friends Service Committee
- Cleveland: NOW!
- Renamed Collinwood Community Service Center



# A New Beginning

- January 3, 1971 a new congregation was formed
  - Sunday School and a morning Sermon
  - Reassembled in the afternoon to formally organize the church
  - Greater New Calvary Baptist Church was named
  - Minister H.H. Hardy called to be the pastor
- December 30, 1971 the property purchased from the Western Reserve Association of the United Church of Christ was recorded
- 1980 – Mortgage burned

Greater New Calvary Gets New Minister  
*Call and Post* (1962-1982); Jan 16, 1971; ProQuest Historical Newspapers: Cleveland Call and Post  
pg. 7A



NEW MINISTER -- Rev. H.H. Hardy, former pastor of True Vine Baptist Church, is the new minister at Greater New Calvary Baptist Church, 822 E. 150 St.  
(Photo by Eddie Jones)

## ***Greater New Calvary Gets New Minister***

Rev. H.H. Hardy, former pastor of True Vine Baptist Church, has accepted the call as pastor of Greater New Calvary Baptist Church, E. 150 St. and Aspinwall Ave., in the Collinwood area.

Rev. Hardy served as pastor at True Vine for almost six years. He was greeted by a large group of worshippers at his first service at Greater New Calvary. A month's dedication services is underway.

The new church is a beautiful stone edifice and was formerly occupied by the Collinwood Congregational Church. The sanctuary is equipped with cushioned pews, a pipe organ and many other features. Numerous assembly rooms are throughout the structure.

Services are held each Sunday at 11 a.m. Activities for groups of all ages are being planned for the congregation. The public is invited to attend.



# Connection to the Community



## DEACON BOARD

Left to right sitting: Sam Jackson, Joe N. Sturdivant, Chairman Harry L. Moore. — Standing: Nathaniel Foster Jr., Robert Nowlin and Willie Boyd



## DEACONESS

Sitting Left to right: Willie M. Sturdivant, Annie B. Moore, Sadie M. Jackson. — Standing: Hattie Boyd, Bertha M. Nowlin and Pauline Cotton



## MISSIONARY SOCIETY

Seated left to right: Pauline Saunders, Velma Brooks, President., Sadie M. Clay — Standing: Annie M. Johnson, Annie B. Moore, Willie M. Sturdivant, Sadie M. Jackson and Lula M. Moffett



## SENIOR USHERS

Sam B. Jackson, Moarus Sturdivant, Jerry Stovall, Opal Haywood, Meriam White, Yvonne Foster, Charlotte Burks, Lorraine Sturdivant, Lucille Wilson, President, Cheree Sturdivant and Betty Stover



# Connection to the Community

## MUSIC DEPARTMENT



## INSPIRATIONAL CHOIR



## GOSPEL LIGHTS OF CALVARY

Robert Jones, Minister-of-Music; Janice Collins, Director; Arthur Thomas, Organist; Bertha Nowlin and Pauline Cotton, Pianists.



## SUNBEAM CHOIR



## RECREATIONAL DEPARTMENT

Greater New Calvary "CALS"  
Mr. Aaron Smith, Coach



# Significance

- Its character, interest or value is part of the development, heritage or cultural characteristics of the City
- The property is associated with architects who have contributed to the development of the City
- The property embodies elements of architectural design, detail, materials and craftsmanship
- The property is connected with the cultural, economic, social and historic heritage of the City
- The property represents a familiar visual feature in the neighborhood



# Current Conditions























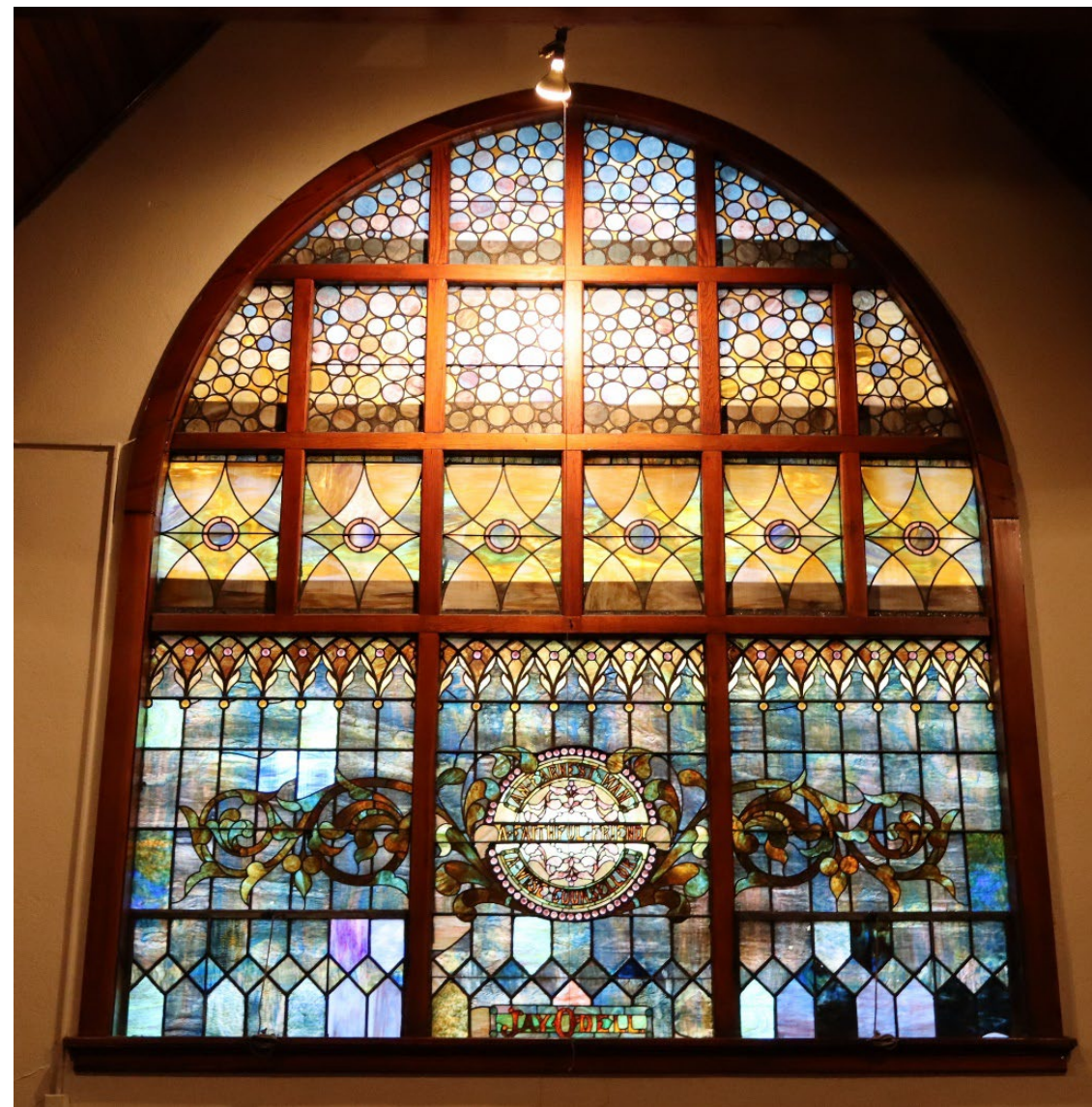
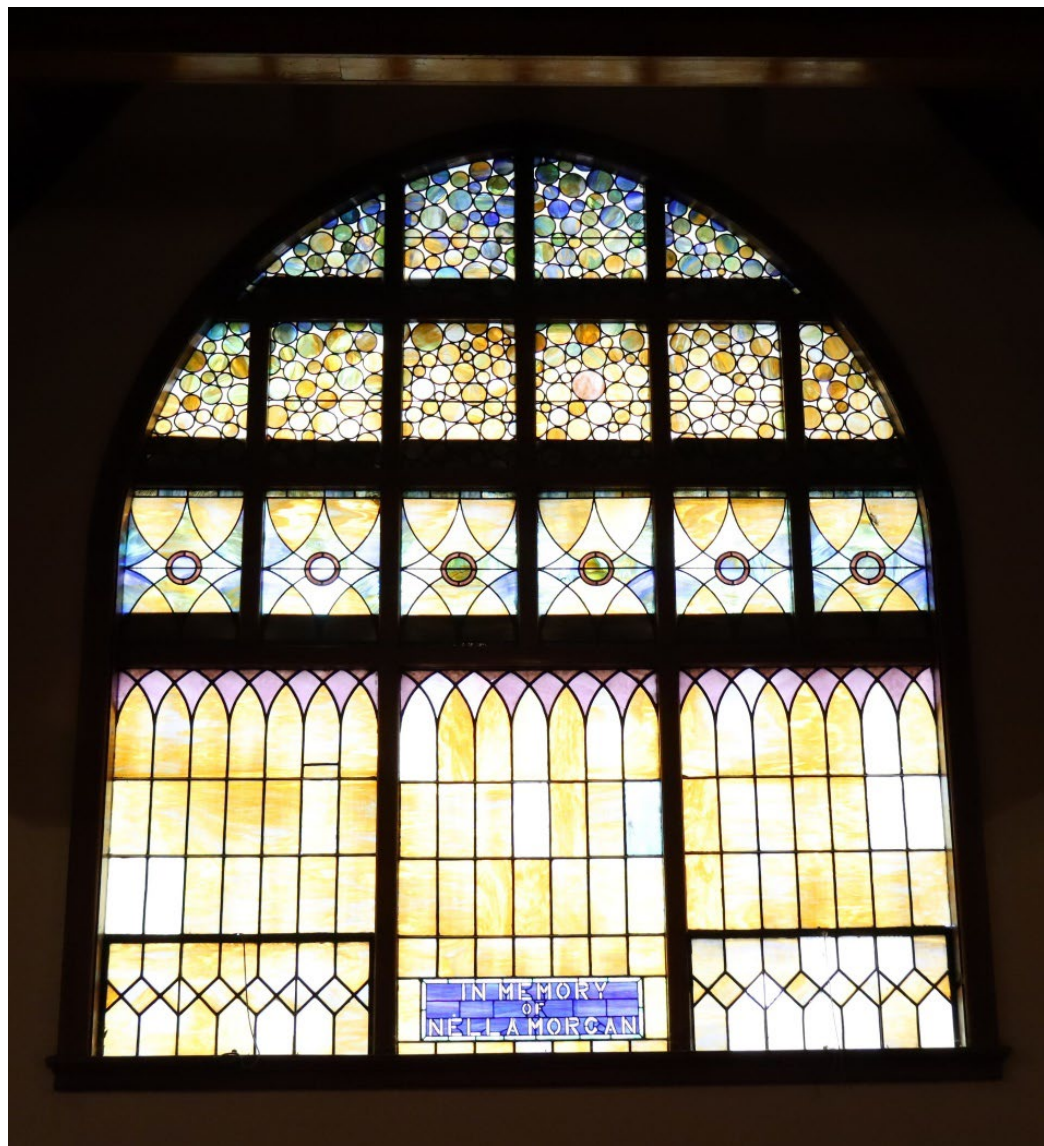


















# Sources

- Cleveland Congregationalists 1895. Rev. A.B. Christy (1896)
- Newspaper Archives
  - Cleveland Plain Dealer
  - Cleveland Leader
  - Call and Post
- Collinwood United Church of Christ 1876-1967 Records (WRHS)
- Special thanks to Ms. Gay Cain for gathering information on Greater New Calvary and sharing previous research



# Thank You





**Ord. No. XXX-2025** – To authorize the Director of Mayor’s Office of Capital Projects and/or

July 18, 2025

Director of Parks & Recreation, as appropriate, to enter into agreements with Cuyahoga County (“County”) and Cleveland Metroparks (“Metroparks”) for the construction and ongoing maintenance of improvements along the Lake Erie Shoreline, known as the Euclid Beach Connector Trail, including erosion control infrastructure and recreational improvements (collectively the “Project”); to accept easements from owners of littoral parcels in the Project area for development of the Project, maintenance and public access; to amend Lease with Metroparks for Lakefront Parks, City Contract No. CT-7001 NF 2013-032, as amended, (“Lease”); to grant temporary construction easements to County; and to enter into one or more submerged lands leases with the State of Ohio Department of Natural Resources necessary for the Project.

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CLEVELAND METROPARKS  
LAKEFRONT RESERVATION

NORTHEAST OHIO REGIONAL SEWER DISTRICT

BEULAH PARK

VILLA BEACH

SHORE ACRES



**SMITHGROUP**

**EUCLID BEACH  
CONNECTOR TRAIL  
JULY 18, 2025**



# EUCLID BEACH CONNECTOR TRAIL PROJECT LOCATION





CUYAHOGA COUNTY

# PLAN SUMMARY

PROCESS AND RECOMMENDATIONS SUMMARY FOR  
CUYAHOGA COUNTY LAKEFRONT PUBLIC ACCESS

SMITHGROUP

February 2022



SMITHGROUP



# EUCLID BEACH CONNECTOR OVERVIEW

EAST END; CLEVELAND METROPARKS LAKEFRONT PARK CONNECTION





# EUCLID BEACH CONNECTOR OVERVIEW

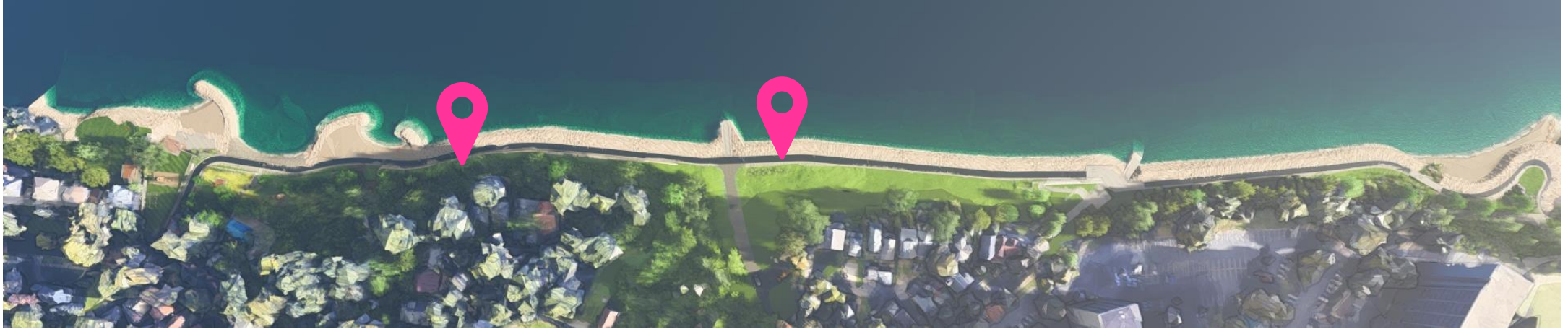
E. 156<sup>TH</sup> STREET; NEORSD & BEULAH PARK SECTION





# EUCLID BEACH CONNECTOR OVERVIEW

## VILLA BEACH AND BEULAH PARK SECTIONS





# EUCLID BEACH CONNECTOR OVERVIEW

## SHORE ACRES AND VILLA BEACH SECTIONS





# EUCLID BEACH CONNECTOR OVERVIEW

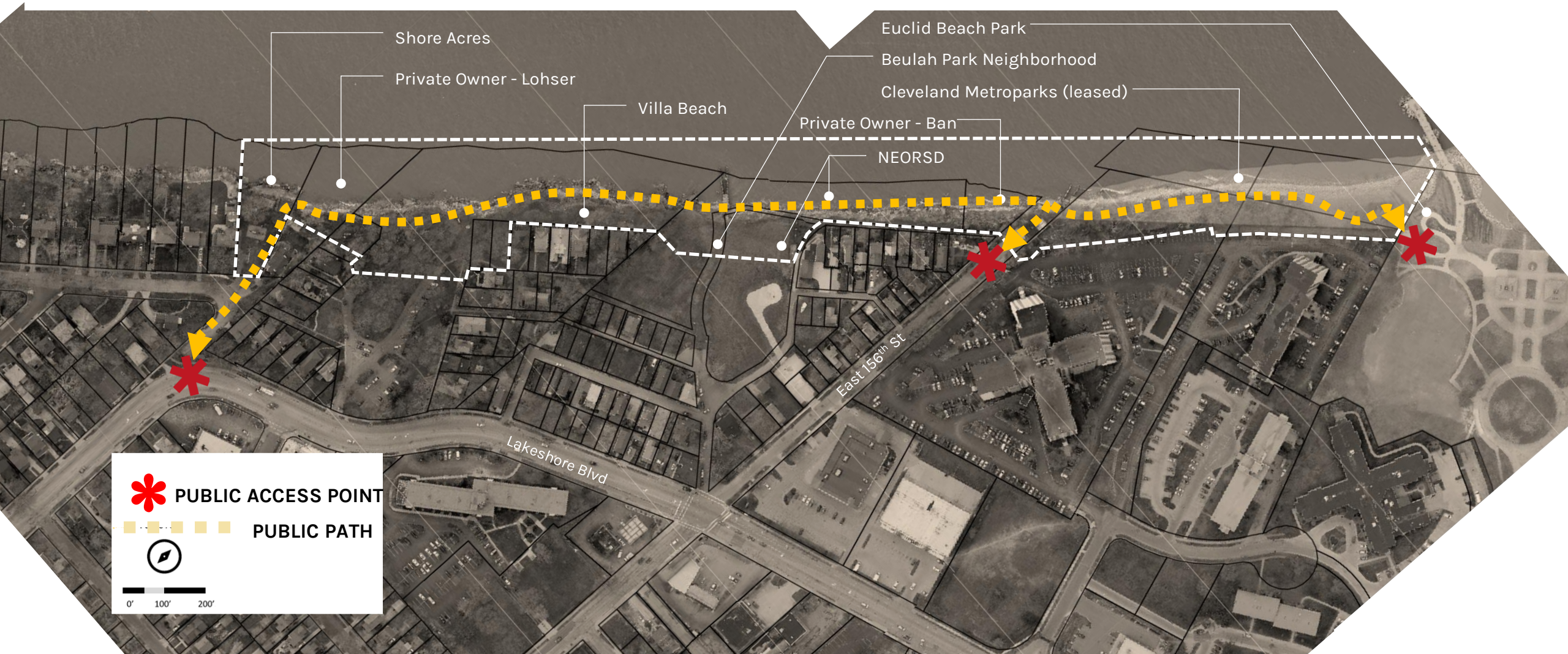
WEST END; SHORE ACRES SECTION





# MAP OF PROPERTY OWNERS / EASEMENTS / ACCESS POINTS

WHERE ACCESS WILL OCCUR

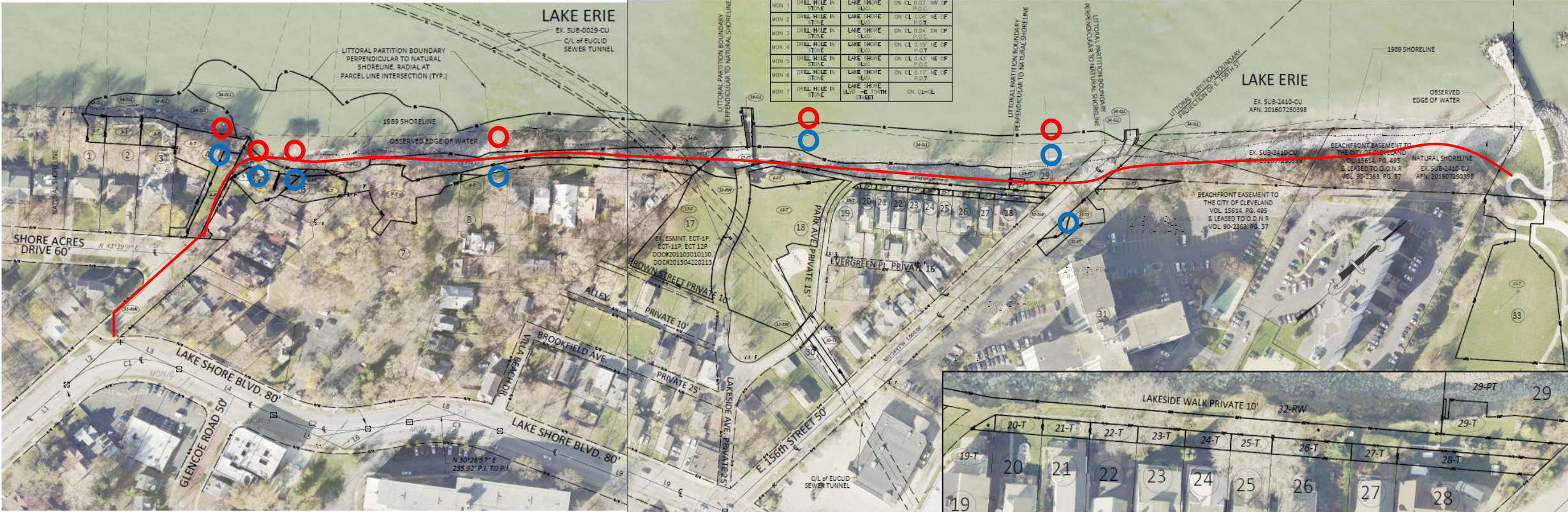




# UPLAND & LITTORAL EASEMENTS

LITTORAL EASEMENTS (6)  
PERMANENT EASEMENTS (7)

EUCLID BEACH CONNECTOR TRAIL  
CUYAHOGA COUNTY  
CITY OF CLEVELAND  
TRACT 16  
ORIGINAL EUCLID TOWNSHIP



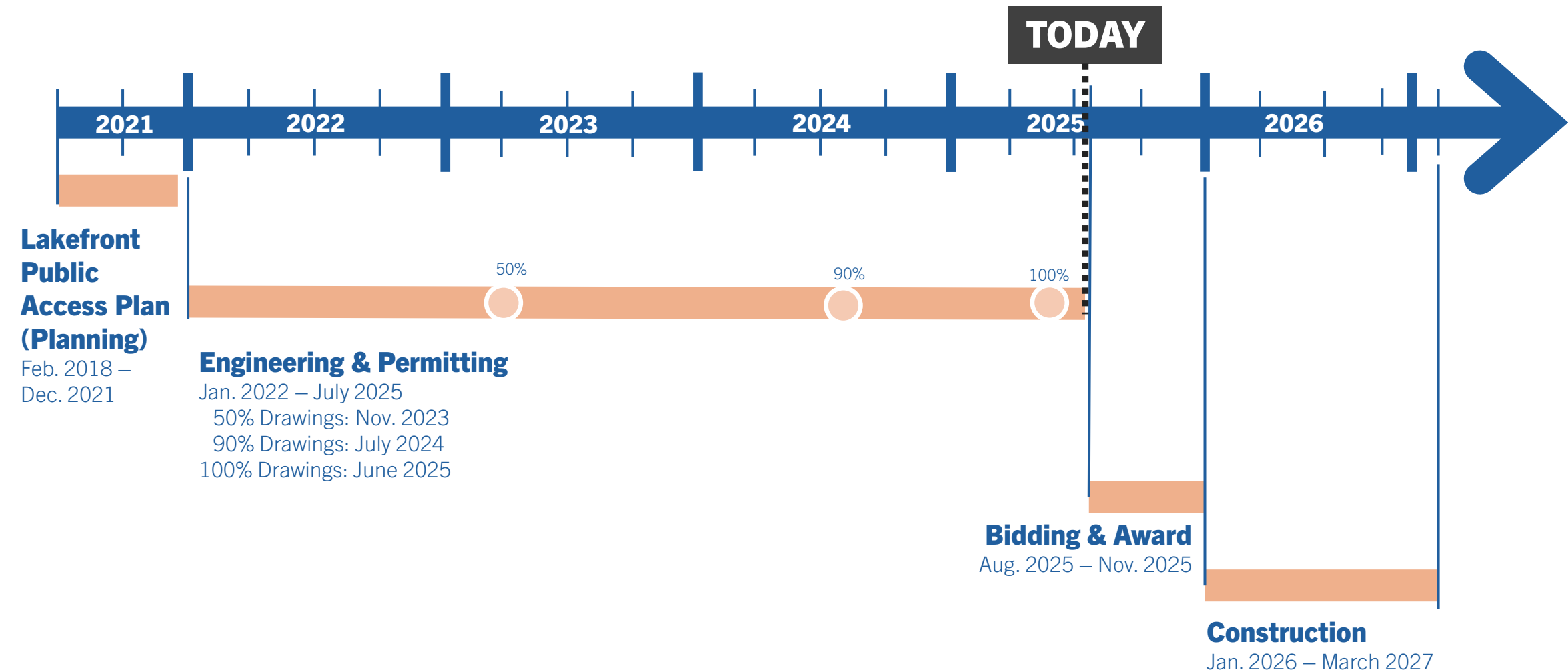
EASEMENT TO ALLOW LIMITED PUBLIC ACCESS (10' TRAIL) ON PRIVATE PROPERTY



EASEMENT TYPE		LEGEND	
T	- TEMPORARY EASEMENT	R	- PROPERTY LINE
PT	- TRAIL EASEMENT	R/W	- RIGHT OF WAY
RW	- RIGHT OF WAY PERMIT	SL	- SUBMERGED LAND LEASE
SLL	- SUBMERGED LAND LEASE	TMP	- TEMPORARY EASEMENT
		SC	- TRAIL EASEMENT



# TIMELINE





# Cleveland City Planning Commission

## Administrative Approvals

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

July 18, 2025



**Ord. No. 800–2025** (introduced by Council Members Hairston and Griffin – by departmental request) To amend Section 1 of Ordinance No. 1167–2024, passed January 13, 2025, relating to a contract with Stantec Consulting Services, Inc., to provide professional services for on-call planning services.

July 18, 2025



**Ord. No. 809–2025** (introduced by Council Members Griffin, Bishop, and Hairston – by departmental request) Authorizing the Director of Capital Projects to issue a permit to the Cleveland Clinic Foundation to encroach into, over, and under the public right-of-way of East 96<sup>th</sup> Street by installing, using, and maintaining a canopy, footers, and columns.

July 18, 2025



**Ord. No. 814-2025** (introduced by Council Members McCormack, Bishop, and Hairston – by departmental request) Giving consent of the City of Cleveland to the Director of Transportation of the State of Ohio to replace the Lorain Avenue Bridge over Columbus Road; and authorizing agreements.

July 18, 2025



**Ord. No. 844-2025** (introduced by Council Members McCormack, Bishop, Hairston, and Griffin (by departmental request) To vacate a portion of Hancock Avenue.

July 18, 2025



**Ord. No. 845-2025** (introduced by Council Members Bishop and Griffin – by departmental request) Determining the method of making the public improvement of designing and constructing or constructing, rehabilitating, renovating, replacing, or otherwise improving cemeteries, including site improvements and appurtenances; and authorizing the Director of Parks and Recreation or Capital Projects, as appropriate, to enter into one or more public improvement contracts for the making of the improvements; enter into one or more professional services and other contracts needed to implement the improvement; to apply for and accept grants and gifts; and authorizing the direct employment of the necessary labor, for the Department of Parks and Recreation or the Office of Capital Projects.

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July 18, 2025



**Ord. No. 848-2025** (introduced by Council Members Bishop and Griffin – by departmental request) Determining the method of making the public improvement of designing and constructing or constructing, rehabilitating, renovating, replacing, or otherwise improving roadways, streets, bridges, sidewalks, and other similar projects, including site improvements and appurtenances; and authorizing the Director of Public Works or Capital Projects, as appropriate, to enter into one or more public improvement contracts for the making of the improvements; enter into one or more professional services and other contracts needed to implement the improvement; to apply for and accept grants and gifts; and authorizing the direct employment of the necessary labor, for the Department of Public Works or the Office of Capital Projects.

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July 18, 2025



**Ord. No. 859–2025** (introduced by Council Member Hairston) Designating East 90th Street between St. Clair Avenue and East 91st Street with a secondary and honorary designation of “Ruby Mumford Way”.

July 18, 2025



**Ord. No. 860–2025** (introduced by Council Member Slife) Changing the Use, Area, & Height Districts of parcels of land north and south of Lorain Avenue west of Rocky River Drive (Map Change 2679).

July 18, 2025



**Ord. No. XXX-2025** – Authorizing the Director of Mayor’s Office of Capital Projects and/or Director of Parks & Recreation, as appropriate, to enter into agreements with the Board of Park Commissioners of the Cleveland Metropolitan Park District (“Metroparks”), or their designee at Irishtown Bend.

July 18, 2025



# Cleveland City Planning Commission

## Director's Report

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

July 18, 2025



# Cleveland City Planning Commission

## Adjournment

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Next Meeting: August 1, 2025